

CITY OF MISSION, KANSAS
COMMUNITY DEVELOPMENT COMMITTEE

WEDNESDAY, JULY 11, 2018

6:30 P.M.

Mission City Hall

PUBLIC COMMENTS

PUBLIC PRESENTATIONS / INFORMATIONAL ONLY

1. Final Plat of 5655 Broadmoor - Brian Scott ([page 3](#))

This is a final plat for the surface parking lot located at 5655 Broadmoor. This plat will dedicate an additional four (4) feet of right-of-way along Broadmoor for a sidewalk that will connect to the sidewalk in Broadmoor Park and a crosswalk across Broadmoor. A special use permit was approved in February to allow this property to be used as an off-site parking lot for the Mission Tower office building (5700 Broadmoor).

2. Final Plat of The Gateway Second Plat - Brian Scott ([page 9](#))

This is a final plat for the Gateway site at 4801 Johnson Drive. The Gateway First Plat, approved in 2013, established one lot on the parcel. The Gateway Second Plat will subdivide this lot into Lot 2 and Lot 3. Lot 2 is dedicated for the three apartment buildings that will be constructed at the corner of Johnson Drive and Roeland Drive. Lot 3 will be further subdivided at a later date when more details about the construction of the hotel, parking garage and other elements of the project are known.

ACTION ITEMS

3. Modified CARS Resolution - John Belger ([page 19](#))

A Resolution for Mission's 2019-2023 CARS Program was approved by the Council in April. As a result of some adjustments to the costs estimate on the Broadmoor project the Council will need to reconsider and approve a modified resolution. Costs for the Broadmoor project have been reduced by approximately \$167,149 to reflect the stamped engineer's estimate.

4. Concrete Repairs to City Hall ([page 24](#))

Over the past few years, the brick pavers outside of City Hall at the east entrance and the ramp leading from the north parking lot to the door at the police station entrance have deteriorated to the point they are in need of replacement. Staff recommends accepting the

proposal from AR Construction in an amount not to exceed \$15,384 to replace the pavers in both of these areas with concrete. The steps and handrails will also be repaired or replaced as a part of this project.

DISCUSSION ITEMS

5. City Communication with Mission Businesses - Emily Randel ([page 29](#))

Staff aims to increase communication between the City and Mission businesses about key aspects of opening and operating a business in Mission. What started as an effort to better define safe and reasonable use of the outdoor spaces and sidewalks in the downtown district has developed into a new approach to communicating key information with the business community.

6. 2018 Street Program - John Belger ([page 30](#))

Since its inception in 2011, the residential Street Maintenance Program has completed approximately 50 lane miles of street maintenance. In 2017, a comprehensive inventory of pavement, curb, sidewalk, and ramps was completed by Stantec. Staff is currently in the process of analyzing this information and reformatting the annual residential street maintenance program. For 2018, staff has developed and is recommending a program which will complete several projects focusing on sidewalks, curb, ramps, and traffic striping.

OTHER

7. Quarterly Code Enforcement Update - Brian Scott ([page 34](#))

Staff will provide periodic (quarterly) updates on code enforcement statistics. The quarterly reports are intended to provide a more comprehensive view of code enforcement activity or issues, while still being timely enough to allow staff and Council the opportunity to review and discuss trends or areas of concern. Activity through June 30, 2018 will be presented.

8. Department Updates - Laura Smith

Kristin Inman, Chairperson
Sollie Flora, Vice-Chairperson
Mission City Hall, 6090 Woodson St
913-676-8350

City of Mission	Item Number:	1.
INFORMATIONAL ITEM	Date:	June 29, 2018
COMMUNITY DEVELOPMENT	From:	Brian Scott

Informational items are intended to provide updates on items where limited or no discussion is anticipated by the Committee.

RE: Final Plat of 5655 Broadmoor

DETAILS: 5655 Broadmoor is a surface parking lot located on the east side of Broadmoor, just north of Broadmoor Park. Aerial photographs indicate that this property has been a surface parking lot since at least the 1990's.

The property was purchased by CAPROCQ KC Mission, LLC in 2016 along with the Mission Tower office building at 5700 Broadmoor (across the street). Soon after the purchase of the property, the new owners inquired about making improvements to the surface parking lot. At that time, City staff informed them that a special use permit would be required in order for them to use the property as off-site parking for the Mission Tower office building. An application for a Special Use Permit was filed with the City in late 2017 and approved by the Planning Commission in January and the City Council in February 2018.

As part of the consideration for a special use permit, the ownership has agreed to the dedication of an additional 4 feet of right-of-way along the western boundary of the property for a sidewalk. This sidewalk will extend to the south and connect with the existing sidewalk in Broadmoor Park. There will also be a crosswalk built across Broadmoor which will provide safe access for those employees that work in the Mission Tower office building and park in the lot on the subject property.

Dedication of the right-of-way requires that a plat be filed with the County Recorder of Deeds. This plat will be known as "5655 Broadmoor," and will be the first plat that has ever been filed for the property.

Planning Commission Recommendation

The Planning Commission, at their June 25, 2018 meeting, voted 7-0 to adopt the findings of fact contained in the staff report and recommend approval of the proposed plat Case #18-04 to the City Council.

CFAA CONSIDERATIONS/IMPACTS: The 5655 Broadmoor Plat will provide four (4) feet of additional right-of-way along the eastern edge of Broadmoor for a sidewalk that will connect to the sidewalk in Broadmoor Park to the south. By doing this, the City is adding to its pedestrian access and increasing its walkability and connectivity for those of all ages - an important component of Community for All Ages.

Related Statute/City Ordinance:	Including but not limited to 440.210 through 440.260
Line Item Code/Description:	NA
Available Budget:	NA

STAFF REPORT
Planning Commission Meeting June 25, 2018

AGENDA ITEM NO.: 1

PROJECT NUMBER / TITLE: Case # 18-04

REQUEST: Preliminary & Final 1st Plat of 5655 Broadmoor

LOCATION: 5655 Broadmoor

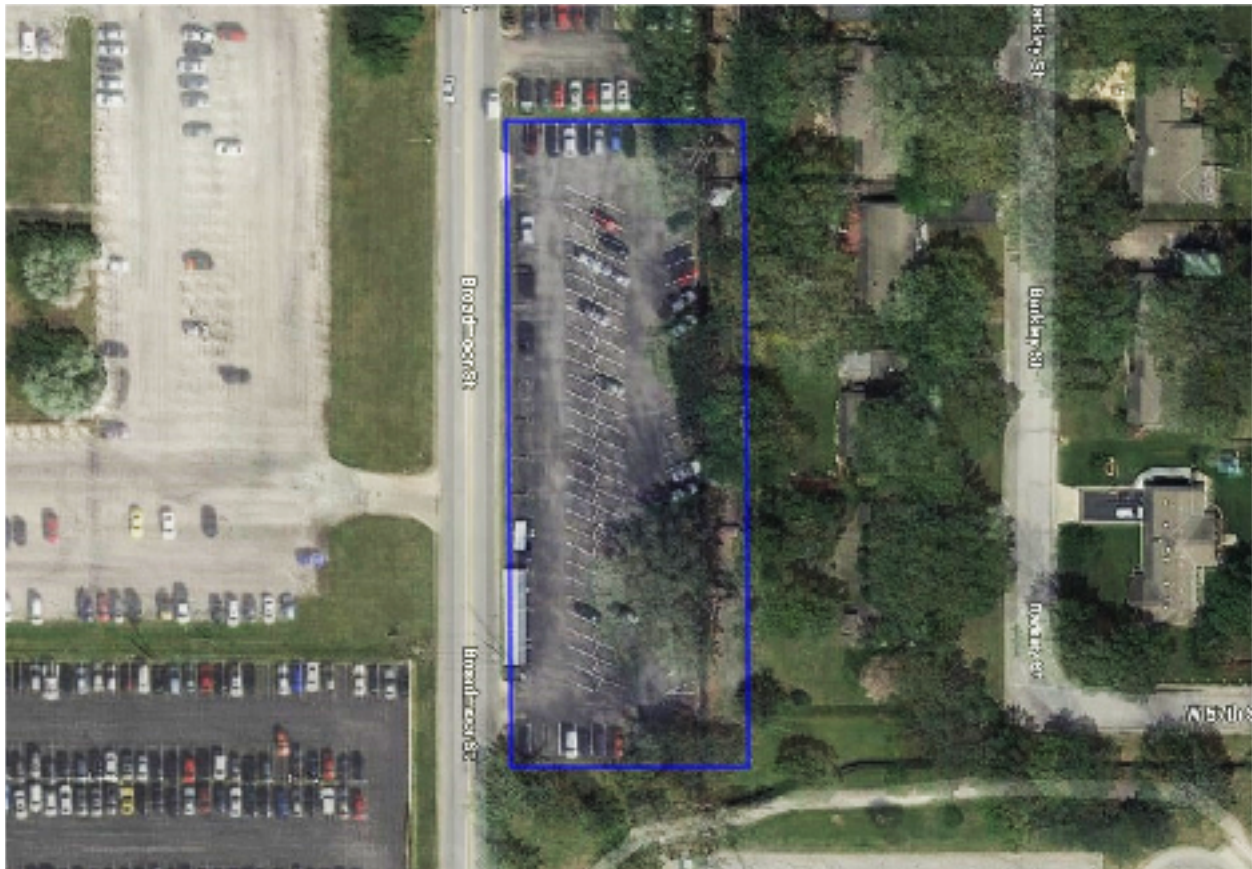
PROPERTY OWNER: CAPROCQ
5700 Broadmoor Street
Mission, KS 66202

APPLICANT: Michael OsBourn, P.E.
Kaw Valley Engineering
14700 West 147th Street
Lenexa, KS 66215

STAFF CONTACT: Brian Scott, Assistant City Administrator

ADVERTISEMENT: June 5, 2018-The Legal Record

PUBLIC HEARING: June 25, 2018 -Planning Commission



Property Information

The subject property is developed as a parking lot and is currently zoned “C-O” (Office Building) District.

Surrounding properties are zoned and used as follows:

West: Former J.C. Penny call center (currently vacant) - Zoned "M-P"
Mission Tower office building - Zoned "C-O" Office Building
South: Broadmoor Park - Zoned "C-O" Business Office
East: Private Homes - Zoned "R-1" Single-Family Residential
North: Office Building - Zoned "C-O" Office Building

Comprehensive Plan Future Land Use Recommendation for this area:

The subject property is identified in the City's comprehensive plan as appropriate for "Mixed-Use Medium-Density" development. The property also lies within the City's West Gateway Vision area where it is identified as Block E, future park land.

All surrounding properties are currently developed:

Surrounding properties are developed with a mix of free-standing commercial buildings, residential property, and park land. The property directly to the west contains an unoccupied office building.

Project Background

The subject property is currently developed as a surface parking lot, and appears to have been a surface parking lot since at least the early 1990s. Prior to that aerial photos indicate it was part of a larger undeveloped parcel that included the Mission Tower office building and the former JCPenney call center building. Aerial photos also indicate that the Kansas City Interurban Railroad, better known as the Strang Line, crossed the southern boundary of this property at one time.

The subject property is owned by CAPROCQ, the same owner of the Mission Tower office building. The City recently discovered that vehicle parking was occurring on the property, which is only allowed with a special use permit when the property is separate from the use that is generating the parking (offsite parking). In this situation the property was being used as overflow parking for the Mission Tower office building, which is across the street.

The owner worked with the City to obtain the Special Use Permit, which was granted by the City Council in February of this year. The Special Use Permit will run with the property for as long as it is utilized as an offsite parking lot.

In considering the application for the Special Use Permit, staff discovered that this property has never been formally platted. The City encourages that property be plated for better land use control. In addition, a portion of the property is being dedicated for right-of-way which will need to be shown on the plat.

At this time the owner is requesting approval of a plat for this property. The owner is proposing the plat consist of one lot. The final plat will include a dedication of four (4) feet along the western boundary for public right-of-way (sidewalk). This will become a sidewalk. The City Council is required to review the preliminary plat because of the dedication for public purpose. The decision of the Planning Commission to approve or deny the proposed plats will be final.

Code Review: Consideration of Preliminary Plats (440.220)

Preliminary plats shall be approved by the Planning Commission if it determines that:

1. The proposed preliminary plat conforms to the requirements of this Title, the applicable zoning district regulations and any other applicable provisions of this Code, subject only to acceptable rule exceptions.

-The proposed plat is in conformance. Site developments, which may already be in nonconformance do not increase their non-conformity due to platting.

2. The subdivision or platting represents an overall development pattern that is consistent with the Master Plan and the Official Street Map.

-The plat represents a development pattern already established and supported by the Comprehensive Plan.

3. The plat contains a sound, well-conceived parcel and land subdivision layout which is consistent with good land planning and site engineering design principles.

-The plat supports good land planning and allows for future redevelopment in compliance with adopted standards.

4. The spacing and design of proposed curb cuts and intersection locations is consistent with good traffic engineering design and public safety considerations.

-The plat does not propose any changes to curb cuts or intersections. The plat will dedicate four (4) feet along the western boundary for public use, in particular a sidewalk which allows for better pedestrian connectivity.

5. All submission requirements have been satisfied.

-All of the requirements of 440.220-Submission of Preliminary Plats have been satisfied

Code Review: Consideration of Final Plats (440.260)

Final plats shall be approved by the Planning Commission if it determines that:

1. The final plat substantially conforms to the approved preliminary plat and rule exceptions granted thereto.

-A preliminary plat matching the final plat is under review with this application.

2. The plat conforms to all applicable requirements of this Code, subject only to approved rule exceptions.

-Code requirements are described below. The proposed plat is in conformance.

3. All submission requirements have been satisfied.

-All of the requirements of 440.250-Submission of Final Plats have been satisfied.

4. Approval of a final plat shall require the affirmative vote of a majority of the membership of the Planning Commission.

Analysis:

Lots

The applicant is not proposing any changes to the subject property with this plat application, which indicates one lot for the entire property. The subject property has never been platted before. The “C-O” District has no requirements for minimum lot sizes.

- Lot 1: 45,089 sq ft or 1.035 acres

Right-of-way

Four (4) feet of right-of-way is being dedicated with this plat.

Easements

No additional public easements are needed at this time.

Staff Recommendation

Staff recommends the Planning Commission approve the preliminary and final plat for Case # 18-04 the plat of land to be known as “5655 Broadmoor.”

Planning Commission Action

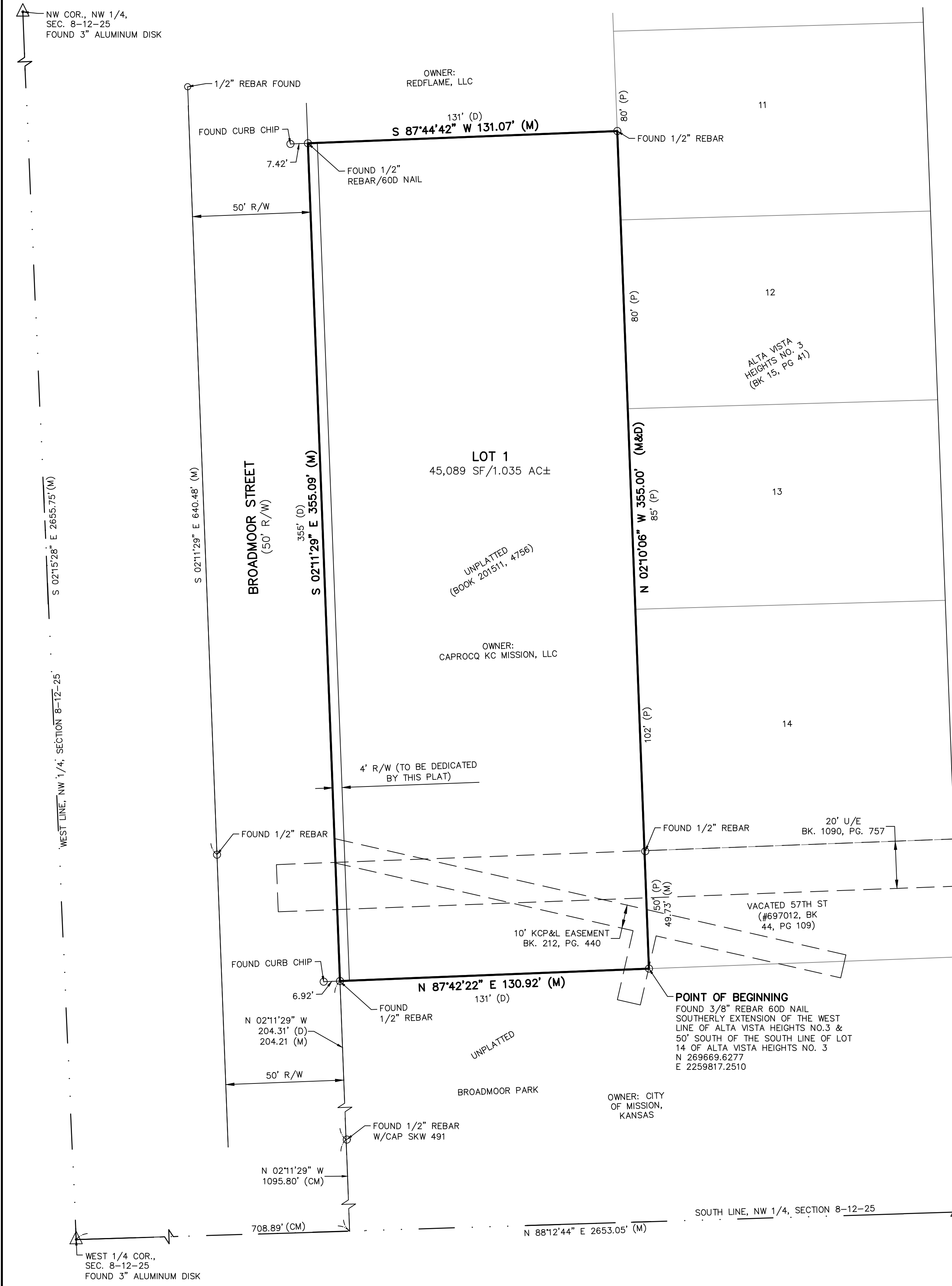
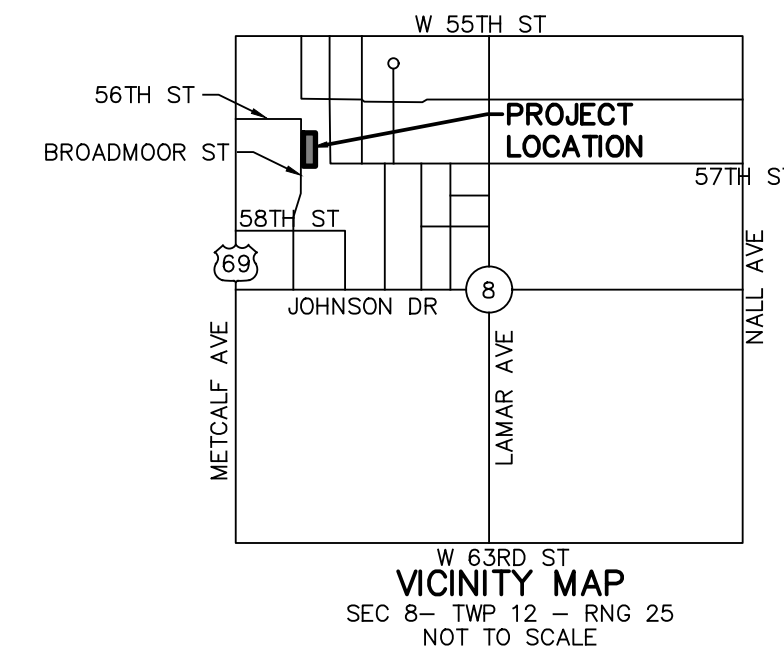
The Planning Commission, at their June 25, 2018 meeting, voted 7-0 to adopt the findings of fact contained in the staff report and recommend approval of the proposed plat Case #18-04 to the City Council.

City Council Action

To be completed once the City Council has made its determination.

FINAL PLAT OF 5655 BROADMOOR

SECTION 8, TOWNSHIP 12 SOUTH, RANGE 25 EAST, CITY OF MISSION, JOHNSON COUNTY, KANSAS



DESCRIPTION (BOOK 201511, PAGE 4756)
 ALL THAT PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 12, RANGE 25, NOW IN THE CITY OF MISSION, JOHNSON COUNTY, KANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE SOUTH RIGHT OF WAY LINE OF 57TH STREET, AS NOW ESTABLISHED, SAID POINT BEING ON THE SOUTHERLY EXTENSION OF THE WEST LINE OF ALTA VISTA HEIGHTS NO. 3, A SUBDIVISION OF LAND NOW IN THE CITY OF MISSION, JOHNSON COUNTY, KANSAS, AND 50 FEET SOUTH OF THE SOUTH LINE OF SAID LOT 14; THENCE NORTHERLY ALONG THE WEST LINE AND ITS EXTENSION OF LOTS 14 THROUGH 11 INCLUSIVE OF SAID ALTA VISTA HEIGHTS NO. 3, A DISTANCE OF 355 FEET, THENCE WESTERLY, ALONG A LINE 355 FEET NORTH OF AND PARALLEL TO THE WESTERLY EXTENSION OF THE SOUTH RIGHT OF WAY LINE OF SAID 57TH STREET, A DISTANCE OF 131 FEET, TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF BROADMOOR STREET, AS NOW ESTABLISHED; THENCE SOUTHERLY, ALONG THE EASTERLY RIGHT OF WAY LINE OF SAID BROADMOOR, A DISTANCE OF 355 FEET, TO ITS INTERSECTION WITH THE WESTERLY EXTENSION OF THE SOUTH RIGHT OF WAY LINE OF SAID 57TH STREET; THENCE EASTERLY, ALONG THE WESTERLY EXTENSION OF THE SOUTH RIGHT OF WAY LINE OF SAID 57TH STREET, A DISTANCE OF 131 FEET, TO THE POINT OF BEGINNING, ALL SUBJECT TO THE PART THEREOF DEDICATED FOR STREET PURPOSES.

FLOOD STATEMENT:
 SURVEYED PARCEL IS SHOWN TO BE LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND SURVEYED PARCEL IS SHOWN TO BE LOCATED IN ZONE "X" OTHER FLOOD AREAS (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD) AS DEPICTED ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 20091C0023G, MAP REVISED AUGUST 3, 2009. LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

CONSENT TO LEVY:
 THE UNDERSIGNED PROPRIETOR OF THE ABOVE DESCRIBED TRACT OF LAND HEREBY CONSENTS AND AGREES THAT THE BOARD OF COUNTY COMMISSIONS AND THE CITY OF MISSION, JOHNSON COUNTY, KANSAS, SHALL HAVE THE POWER TO RELEASE SUCH LAND PROPOSED TO BE DEDICATED FOR PUBLIC USE FROM THE LIEN AND EFFECT OF ANY SPECIAL ASSESSMENTS, AND THAT THE AMOUNT OF UNPAID SPECIAL ASSESSMENTS ON SUCH LAND DEDICATED, SHALL BECOME AND REMAIN A LIEN ON THE LAND FRONTING AND ABUTTING ON SUCH DEDICATED PUBLIC WAY OR THOROUGHFARE.

DEDICATIONS:
 THE UNDERSIGNED PROPRIETOR AND THE ABOVE DESCRIBED TRACT OF LAND HAS CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THIS PLAT AS STREETS OR PUBLIC WAYS NOT HERETOFORE DEDICATED. ACCEPTANCE FOR THE DEDICATION OF LAND FOR PUBLIC RIGHT-OF-WAY PURPOSES DESCRIBED ON THIS PLAT IS FOR THE SOLE PURPOSE OF MAINTAINING RIGHT-OF-WAY, AND DOES NOT CONSTITUTE ACCEPTANCE OF ANY TERMS OR CONDITIONS SET FORTH IN ANY AGREEMENT NOT SHOWN ON THIS PLAT.

IN ACCORDANCE WITH KSA 12-512B, ALL RIGHTS, OBLIGATIONS, RESERVATIONS, EASEMENTS, OR INTEREST NOT SHOWN ON THIS PLAT SHALL BE VACATED AS TO USE AND AS TO TITLE, UPON FILING AND RECORDING OF THIS PLAT. THE PROPRIETORS, SUCCESSORS, AND ASSIGNS, OF PROPERTY SHOWN ON THIS PLAT HEREBY ABSOLVE AND AGREE, JOINTLY AND SEVERALLY, TO INDEMNIFY THE CITY OF MISSION, KANSAS, OF ANY EXPENSE INCIDENT TO THE RELOCATION OF ANY EXISTING UTILITY IMPROVEMENTS HERETOFORE INSTALLED AND REQUIRED TO BE RELOCATED IN ACCORDANCE WITH PROPOSED IMPROVEMENTS DESCRIBED IN THIS PLAT.

AN EASEMENT IS HEREBY GRANTED TO THE CITY OF MISSION, KANSAS, TO ENTER UPON, CONSTRUCT, MAINTAIN, USE, AND AUTHORIZE THE LOCATION OF CONDUITS FOR PROVIDING WATER, GAS, CABLE, ELECTRIC, SEWERS, AND OTHER UTILITY SERVICES, INCLUDING RELATED FACILITIES AND APPURTENANCES THERETO, AND DRAIN FACILITIES, UPON, OVER, UNDER, AND ACROSS THOSE AREAS OUTLINED AND DESIGNATED ON THIS PLAT AS "UTILITY EASEMENT" OR "U/E", AND FURTHER, SUBJECT TO ADMINISTRATION AND REGULATION BY THE CITY, THE SUBORDINATE USE OF SUCH AREAS BY OTHER GOVERNMENTAL ENTITIES AND UTILITIES, FRANCHISED OR AUTHORIZED TO DO BUSINESS IN THE CITY OF MISSION, KANSAS.

THE UNDERSIGNED PROPRIETOR OF THE ABOVE DESCRIBED LAND HEREBY CONSENTS AND AGREES THAT THE GOVERNING BODY OF ANY SPECIAL ASSESSMENT DISTRICT SHALL HAVE THE POWER TO RELEASE SUCH LAND PROPOSED TO BE DEDICATED FOR STREETS AND ROADS, OR PARTS THEREOF, FOR PUBLIC USE, FROM THE LIEN AND EFFECT OF ANY SPECIAL ASSESSMENTS AND THAT THE AMOUNT OF UNPAID SPECIAL ASSESSMENTS ON SUCH LAND DEDICATED, SHALL BECOME AND REMAIN A LIEN ON THE REMAINDER OF THIS LAND FRONTING OR ABUTTING ON SAID DEDICATED ROAD OR STREET.

HORIZONTAL AND VERTICAL DATUM:
 THE COORDINATES SHOWN HEREON ARE GROUND COORDINATES BASED ON THE KANSAS STATE PLANE NORTH ZONE (NAD 83-HARN) (NAD 83, PG 88)
 CAF: 0.999922619
 1 METER = 3.28083333 U.S. SURVEY FEET
 GROUND COORDINATES X COMBINED ADJUSTMENT FACTOR (CAF) = GRID COORDINATES
 SCALED AROUND 0,0

TOTAL AREA
 RIGHT-OF-WAY DEDICATION=1,420 SQUARE FEET/0.033 ACRES
 LOT 1=45,089 SQUARE FEET/1.035 ACRES
 TOTAL=46,509 SQUARE FEET/1.068 ACRES

SHAWNEE 2/BM #1
 NORTHING: 263968.29 (GRID)
 EASTING: 2251815.46 (GRID)

OWNERSHIP & ENCUMBRANCE REPORT WITH EASEMENTS:
 CHICAGO TITLE INSURANCE COMPANY
 FILE NO.: 185640
 EFFECTIVE DATE: APRIL 25, 2018 AT 8:00 A.M.

REFERENCE DEEDS:
 1. SPECIAL WARRANTY DEED, BOOK 201511, PAGE 4756.
 2. KANSAS WARRANTY DEED, BOOK 200601, PAGE 1284.
 3. SHERIFF'S DEED, BOOK 4780, PAGE 458.

LEGEND:
 Δ SECTION CORNER
 ○ MONUMENT FOUND AS NOTED
 (CM) CALCULATED MEASURED VALUE
 (D) DEED VALUE
 (P) PLAT VALUE
 (M) MEASURED VALUE

APPROVALS:
 APPROVED BY: THE CITY COUNCIL OF THE CITY OF MISSION, JOHNSON COUNTY, KANSAS THIS ____ DAY OF _____, 2018

RONALD E. APPLETOFT, MAYOR ATTEST: MARTHA SUMRALL, CITY CLERK

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF MISSION, JOHNSON COUNTY, KANSAS THIS ____ DAY OF _____, 2018

MIKE LEE, PLANNING COMMISSION CHAIRMAN ASHLEY ELMORE, PLANNING COMMISSION SECRETARY

EXECUTION:
 IN TESTIMONY WHEREOF, THE UNDERSIGNED PROPRIETOR, CARPROQ KC MISSION, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED ON THIS ____ DAY OF _____, 2018.

CARRPROQ KC MISSION, LLC
 NAME/TITLE OF SIGNED

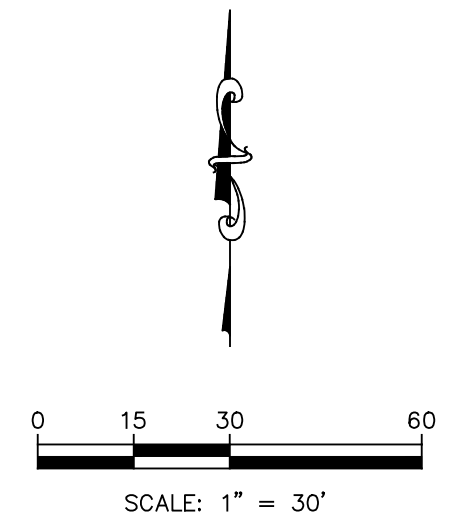
STATE OF KANSAS }
 COUNTY OF JOHNSON } SS

ON THIS ____ DAY OF _____, IN THE YEAR 2018, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHO EXECUTED THE WITHIN PLAT AND ACKNOWLEDGEMENT TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSE THEREIN STATED.

NOTARY PUBLIC (PRINT NAME) MY APPOINTMENT EXPIRES

SURVEYOR'S CERTIFICATION:
 I, KENNETH J. DEDRICK, BEING A DULY REGISTERED AND LICENSED LAND SURVEYOR IN THE STATE OF KANSAS, HEREBY CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND MEETS OR EXCEEDS THE CURRENT KANSAS MINIMUM STANDARDS FOR BOUNDARY SURVEYS. THAT THE LINES OF POSSESSION ARE DEPICTED HEREON, THE COURSES AND DISTANCES SHOWN HEREON ARE THOSE MEASURED ON THE DATE OF THE SURVEY AND THE TOPOGRAPHIC SURVEY WAS PERFORMED TO MEET OR EXCEED THE STANDARDS OF PRACTICE APPROVED BY THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS FOR TOPOGRAPHIC SURVEYS AND THAT THE SURVEY WAS COMPLETED IN THE FIELD AND ON THE GROUND AND MAY BE RELIED UPON BY THE PARTIES CERTIFIED AS TO BEING CORRECT TO THE BEST OF MY BELIEF AND KNOWLEDGE.
 THE FIELD WORK WAS COMPLETED ON AUGUST 16, 2017.
 DATE OF PLAT OR MAP: MAY 22, 2018

KENNETH J. DEDRICK
 KANSAS PS NO. 1067
 dedrick@kveng.com



KAW VALLEY ENGINEERING

14700 WEST 114TH TERRACE
 LENEXA, KANSAS 66215
 PH. (913) 894-5150 | FAX (913) 894-5977
 lx@kveng.com | www.kveng.com

PROJECT NO. **C17_9526**
 DRAWN BY **RJN**
 CHECKED BY **KJD**
 CFN **9526FPLAT**
 SHEET **1 OF 1**

PREPARED FOR:
COLLIERS INTERNATIONAL
 1 ALLIED DRIVE, SUITE #1500
 LITTLE ROCK, ARKANSAS 72202

KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER SURVEYING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION NO. LS-20. EXPIRES 12/31/18

City of Mission	Item Number:	2.
INFORMATIONAL ITEM	Date:	June 29, 2018
COMMUNITY DEVELOPMENT	From:	Brian Scott

Informational items are intended to provide updates on items where limited or no discussion is anticipated by the Committee.

RE: Final Plat of The Gateway Second Plat

DETAILS: 4801 Johnson Drive is the subject property of this plat. The property was originally developed as the Mission Shopping Center in the early 1950s. The shopping center was enclosed and rebranded as the Mission Mall in the 1980s. The property was purchased in the early 2000's and the mall subsequently demolished to make way for a new mixed-use development project to be known as The Gateway.

The proposed Gateway development has undergone several iterations, with the most recent Final Site Development Plan approved by the Planning Commission in March 2017. The current plan entails the construction of three apartment buildings to be built at the southeast corner of Johnson Drive and Roeland Drive. The apartment buildings are to be four stories each with the first floor devoted to retail. Other development on the site, as indicated in the plan, includes a 200 room, seven-story hotel, a 58,000 square foot three-story office building, and a food hall/entertainment venue.

The Gateway First Plat was approved by the City Council in January of 2013. This plat identified a drainage easement for the reinforced box culvert that had been built through the property to enclose the Rock Creek channel, as well as sanitary sewer easements and right-of-way dedications. The plat was filed as one lot.

The Gateway Second Plat divides Lot 1 into Lot 2 and Lot 3. Lot 2 (170,777 sq ft or 3.9025 acres) will be dedicated for the three apartment buildings. Lot 3 (533,029 sq ft or 12.2367 acres) will be the remainder of the site. This lot will eventually be subdivided into further lots (Lot 4, Lot 5, Lot 6, and Lot 7) for future components of the overall development project. Replatting the property as development plans and construction drawings are finalized is a common practice. The replatting will also help in properly assessing the property for taxation purposes.

This plat reduces some of the right-of-way previously dedicated along Johnson Drive for on-street parking. The proposed on-street parking area would have been too close the intersection of Johnson Drive and Roeland Drive. This has been reviewed by our engineers.

Planning Commission Recommendation

The Planning Commission, at their June 25, 2018 meeting, voted 6-0 to adopt the findings of fact contained in the staff report and recommend approval of the proposed

Related Statute/City Ordinance:	Including but not limited to 440.210 through 440.260
Line Item Code/Description:	NA
Available Budget:	NA

City of Mission	Item Number:	2.
INFORMATIONAL ITEM	Date:	June 29, 2018
COMMUNITY DEVELOPMENT	From:	Brian Scott

Informational items are intended to provide updates on items where limited or no discussion is anticipated by the Committee.

plat Case #18-05 to the City Council. Commissioner Christensen recused himself from voting due to potential conflict of interest.

CFAA CONSIDERATIONS/IMPACTS: The Gateway Second Plant will provide a sidewalk easement along Roeland Drive and Johnson Drive that was identified and dedicated in the first plat. This will provide pedestrian access and increasing walkability and connectivity for those of all ages - an important component of Community for All Ages.

Related Statute/City Ordinance:	Including but not limited to 440.210 through 440.260
Line Item Code/Description:	NA
Available Budget:	NA

STAFF REPORT
Planning Commission Meeting April 25, 2018

AGENDA ITEM NO.: 2

PROJECT NUMBER / TITLE: Case # 18-05

REQUEST: Preliminary & Final Plat of The Gateway Second Plat

LOCATION: 4801 Johnson Drive

PROPERTY OWNER:
Aryeh Realty, LLC
140 Broadway, 41st Floor
New York, NY 10005

APPLICANT:
David Eickman, P.E.
Olsson Associates
7301 W. 133rd Street
Overland Park, KS 66213

STAFF CONTACT: Brian Scott, Assistant City Administrator
ADVERTISEMENT: June 5, 2018 -The Legal Record
PUBLIC HEARING: June 25, 2018 - Planning Commission



Property Information

The subject property is undeveloped and is currently zoned “MXD” Planned Mixed District.

Surrounding properties are zoned and used as follows:

West: "R-1" Single Family Residential District, "R-3" Planned Town House District, "MS-2" Main Street District,

North: "OB Business Office (property located in Roeland Park)

East: Not Zoned (Kansas Department of Transportation)

South: "RP-6" Highrise Apartment District, C-1 Restricted Business District

Comprehensive Plan Future Land Use Recommendation for this area:

The subject property is identified as appropriate for "Mixed-Use High Density" development.

All surrounding properties are currently developed:

Surrounding properties are developed with a mix of attached and freestanding buildings for commercial uses, townhouses, and single-family residential properties.

Project Background

This property was originally the site of the Mission Shopping Center, first developed in the mid 1950's. Later enclosed and rebranded as the Mission Mall, the center was purchased in 2005 and demolished for development of a new, mixed-use residential/commercial product.

In 2006 the Planning Commission reviewed and approved the rezoning and preliminary site development plan for the redevelopment of the subject property for urban development composed of retail, office, hotel, restaurant, and residential uses (Ordinance #1203). Since the "MXD" zoning and preliminary site development plan was first approved, the project has evolved through several revisions reflected in revised plans presented to the Planning Commission and City Council in 2007, 2008, and January 2012.

The current owner is Aryeh Realty of New York City. They own a number of residential properties in New York City, and across the country including the Kansas City area. Aryeh Realty is working with the developer of record, Mission Mall, LLC (aka Cameron Group) of Syracuse, New York.

A revised preliminary site development plan (case #15-10) was submitted to the City in the summer of 2015. This plan, consisted of three (3), four-story apartment buildings with ground floor retail in each located at the corner of Johnson Drive and Roeland Drive; a hotel at the back of the site; an office building; and a Walmart store at the corner of Johnson Drive and Roe. This preliminary plan was eventually approved by the City Council with the Mayor breaking a split vote in favor of the plan.

Another revised preliminary plan (case#16-10) was submitted to the City the following summer with same components, but residential above the proposed Walmart store. This plan was approved by the Planning Commission, but rejected by the City Council in a 7-1 vote. Shortly after this decision, Walmart formerly pulled out of the project.

A final site development plan (case #17-01) was submitted and considered by the Planning Commission in March of 2017. This plan indicates retail use(s) for the building

that would have been the Walmart store, but gives no further detail. Since this time, it has been announced that a “food hall” will occupy this space as well as another, yet to be identified, entertainment venue space. When plans for these spaces are finalized by the developer, staff will determine if a revised final site development plan needs to be submitted.

In the meantime, the developer is moving forward with construction of the apartment buildings as Phase I of the project. In doing this, the developer is submitting this plat - The Gateway Second Plat - for the purpose of creating a lot just for the apartment buildings. The purpose for doing this is to better track property assessment and taxation of each component of the overall project.

Currently, the entire property is platted as one lot. This was approved by the City in May of 2013 as The Gateway First Plat. The Gateway Second Plat will create two lots, Lot 2 for the apartment buildings, and Lot 3 for the rest of the site. Further plats will further subdivide Lot 3 into Lot 4 and Lot 5. These plats will come as design plans for these buildings are finalized.

Code Review: Consideration of Preliminary Plats (440.220)

Preliminary plats shall be approved by the Planning Commission if it determines that:

1. The proposed preliminary plat conforms to the requirements of this Title, the applicable zoning district regulations and any other applicable provisions of this Code, subject only to acceptable rule exceptions.

-The proposed plats are in conformance.

2. The subdivision or platting represents an overall development pattern that is consistent with the Master Plan and the Official Street Map.

-The plat represents a development pattern already established and supported by the Comprehensive Plan.

3. The plat contains a sound, well-conceived parcel and land subdivision layout which is consistent with good land planning and site engineering design principles.

-The plat supports good land planning and allows for future redevelopment in compliance with adopted standards.

4. The spacing and design of proposed curb cuts and intersection locations is consistent with good traffic engineering design and public safety considerations.

-The plat does not propose any changes to curb cuts or intersections.

5. All submission requirements have been satisfied.

-All of the requirements of 440.220-Submission of Preliminary Plats have been satisfied

Code Review: Consideration of Final Plats (440.260)

Final plats shall be approved by the Planning Commission if it determines that:

1. The final plat substantially conforms to the approved preliminary plat and rule exceptions granted thereto.

-A preliminary plat matching the final plat is under review with this application.

2. The plat conforms to all applicable requirements of this Code, subject only to approved rule exceptions.

-Code requirements are described below. The proposed plat is in conformance.

3. All submission requirements have been satisfied.

-All of the requirements of 440.250-Submission of Final Plats have been satisfied.

4. Approval of a final plat shall require the affirmative vote of a majority of the membership of the Planning Commission.

Analysis:

Lots

In the presented plat the applicant proposes to subdivide the subject property which is composed of one parcel into two lots. The subject property was last platted in 2013. The "MXD" District has no requirements for minimum lot sizes. The only yard requirements are for a front build-to line of zero, and a minimum of 30% of the development site's perimeter public street frontage shall be occupied by a building wall located no further than thirty (30) feet from the perimeter right-of-way line.

- Lot 2: 170,777 sq ft or 3.9025 acres
- Lot 3: 533,029 sq ft or 12.2367 acres

Right-of-way

The Gateway First Plat dedicated 3,523 sq. ft. of right-of-way along Johnson Drive. The Gateway Second Plat indicates a re-alignment of a portion of the right-of-way just east of the intersection of Johnson Drive and Roeland Drive. This realignment will reduce a portion of the on street parking and results in a vacation of a portion (902 sq. ft.) of the initial right-of-way dedication.

Easements

No additional public easements are needed at this time.

Staff Recommendation

Staff recommends the Planning Commission approve the preliminary and final plat for Case # 18-05 the plat of land to be known as "The Gateway Second Plat."

Planning Commission Action

The Planning Commission, at their June 25, 2018 meeting, voted 6-0 to adopt the findings of fact contained in the staff report and recommend approval of the proposed plat Case #18-05 to the City Council. Commissioner Christensen recused himself from voting due to potential conflict of interest.

City Council Action

To be completed once the City Council has made its determination.

Final Plat of The Gateway Second Plat

A Replat of Lot 1 and a portion of Johnson Drive Right of Way, both of The Gateway First Plat, a subdivision in the City of Mission, Johnson County, Kansas, lying in the West Half of Section 9, Township 12 South, Range 25 East

Area Summary Table		
Lot 2	170,777 S.F.	3.9205 Ac.
Lot 3	533,029 S.F.	12.2367 Ac.
Dedicated Johnson Drive R/W	4,596 S.F.	0.1055 Ac.
Total	708,402 S.F.	16.2627 Ac.
Vacated Johnson Drive R/W	902 S.F.	0.0207 Ac.
Total Replatted Area	708,402 S.F.	16.2627 Ac.

Property Description

All of Lot 1, together with part of Johnson Drive right of way, both as established in The Gateway First Plat, a subdivision in the City of Mission, Johnson County, Kansas, lying in the West Half of Section 9, Township 12 South, Range 25 East, described as follows:

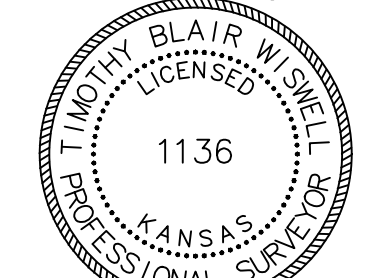
COMMENCING at the Southwest corner of the Northwest Quarter of Section 9, Township 12 South, Range 25 East; thence North 01 degree 49 minutes 20 seconds West, along the West line of the Northwest Quarter of said Section 9, a distance of 449.18 feet to a point; thence North 88 degrees 10 minutes 40 seconds East, departing the West line of said Northwest Quarter, a distance of 1692.48 feet to a point on the West line of Lot 1, The Gateway First Plat, a subdivision in the City of Mission, Johnson County, Kansas, the POINT OF BEGINNING; thence North 33 degrees 24 minutes 43 seconds West, along the West line of said Lot 1, a distance of 192.12 feet to a point; thence South 56 degrees 29 minutes 55 seconds West, continuing along said West line, a distance of 11.71 feet to a point; thence North 33 degrees 29 minutes 13 seconds West, continuing along said West line, a distance of 38.56 feet to a point on a non-tangent curve; thence in a Northerly and Northeasterly direction, continuing along the West line of said Lot 1, along a curve to the right whose initial tangent bears North 03 degrees 07 minutes 31 seconds East, having a radius of 32.00 feet, through a central angle of 47 degrees 59 minutes 09 seconds, an arc distance of 26.80 feet to a point of non-tangency, said point also being the Northwest corner of said Lot 1; thence North 67 degrees 34 minutes 47 seconds East, along the North line of said Lot 1 and its Easterly extension, a distance of 120.60 feet to a point; thence North 68 degrees 09 minutes 28 seconds East, along the Westerly extension of said North line, a distance of 32.64 feet to a point; thence South 52 degrees 11 minutes 09 seconds East, departing the Westerly extension of said North line, a distance of 8.96 feet to a point on the North line of said Lot 1; thence North 68 degrees 05 minutes 48 seconds East, along the North line of said Lot 1, a distance of 10.01 feet to a point; thence North 23 degrees 09 minutes 46 seconds East, continuing along the North line of said Lot 1, a distance of 10.92 feet to a point; thence North 68 degrees 09 minutes 28 seconds East, continuing along the North line of said Lot 1, a distance of 85.58 feet to a point; thence South 66 degrees 50 minutes 32 seconds East, continuing along the North line of said Lot 1, a distance of 11.03 feet to a point; thence North 68 degrees 10 minutes 25 seconds East, continuing along the North line of said Lot 1, a distance of 11.06 feet to a point; thence North 72 degrees 47 minutes 43 seconds East, continuing along the North line of said Lot 1, a distance of 111.29 feet to a point; thence North 69 degrees 58 minutes 58 seconds East, continuing along the North line of said Lot 1, a distance of 85.15 feet to a point; thence North 69 degrees 51 minutes 36 seconds East, continuing along the North line of said Lot 1, a distance of 29.34 feet to a point; thence North 72 degrees 37 minutes 31 seconds East, continuing along the North line of said Lot 1, a distance of 198.99 feet to a point of curvature; thence in a Northeasterly direction, continuing along the North line of said Lot 1, along a curve to the right, having a radius of 48.36 feet, through a central angle of 9 degrees 19 minutes 18 seconds, an arc distance of 48.36 feet to a point of compound curvature; thence in a Northeasterly, Easterly and Southeasterly direction, continuing along the North line of said Lot 1, along a curve to the right, having a radius of 106.25 feet, through a central angle of 85 degrees 00 minutes 09 seconds, an arc distance of 157.63 feet to a point of compound curvature, said point also being the Northeast corner of said Lot 1; thence in a Southeasterly and Southerly direction, along the East line of said Lot 1, along a curve to the right, having a radius of 397.25 feet, through a central angle of 2 degrees 28 minutes 31 seconds, an arc distance of 17.16 feet to a point of non-tangency; thence South 02 degrees 07 minutes 38 seconds East, continuing along the East line of said Lot 1, a distance of 413.54 feet to the Southeast corner of said Lot 1; thence South 37 degrees 23 minutes 58 seconds West, along the South line of said Lot 1, a distance of 905.03 feet to the Southeastmost corner of said Lot 1, said point also lying on a non-tangent curve; thence in a Westerly and Northwesterly direction, along the West line of said Lot 1, along a curve to the right whose initial tangent bears North 86 degrees 55 minutes 17 seconds West, having a radius of 49.00 feet, through a central angle of 34 degrees 02 minutes 33 seconds, an arc distance of 29.11 feet to a point of tangency; thence North 52 degrees 52 minutes 44 seconds West, continuing along said West line, a distance of 19.08 feet to a point of curvature; thence in a Northwesterly and Northerly direction, continuing along said West line, along a curve to the right, having a radius of 255.59 feet, through a central angle of 55 degrees 15 minutes 11 seconds, an arc distance of 249.48 feet to a point of reverse curvature; thence in a Northerly and Northwesterly direction, continuing along said West line, along a curve to the left, having a radius of 362.33 feet, through a central angle of 33 degrees 12 minutes 39 seconds, an arc distance of 210.02 feet to a point of tangency; thence North 30 degrees 50 minutes 12 seconds West, continuing along said West line, a distance of 308.85 feet to the POINT OF BEGINNING, containing 708,402 Square Feet or 16.2627 Acres, more or less.

Surveyor's Notes:

1. Basis of Bearings: Held West Line of Northwest Quarter of Section 9, Township 12, Range 25 East = N01°49'20"W, Kansas Coordinate System 1983, North Zone. All bearings and distances match previously platted values on The Gateway First Plat, unless otherwise noted.
2. Subject Property lies within a 100 year flood plain as designated on the U.S. Department of Housing, Federal Emergency Management Agency Flood Insurance Rate Map (FIRM) Community Panel Number 20091C00246, Map Revised August 3, 2009. Per drainage redevelopment within this project, the projected 100-year floodplain is contained within the Storm Sewer culverts lying within the dedicated drainage easements as filed at Book 200803, Page 008379. This is reflected in the LOMR ID 11-07-1190P-205185, dated February 8, 2012.
3. Subject Property contains 708,402 Square Feet, or 16.2627 Acres, more or less.
4. This plat lies within the required minimum closure of 1:10,000.
5. The following easements, as depicted herein, are hereby vacated with the recording of this plat:
Storm Sewer Easement, Volume 2816, Page 90
Utility Easement, as recorded in Book 200803, Page 008378
11.5' Clear Space and Bike Access Easement, as recorded in Book 200808, Page 007719
Utility Easement, as recorded in Book 200808, Page 007720
Permanent Sidewalk/Utility Easement, as established in The Gateway First Plat
Sanitary Sewer Easement, as established in The Gateway First Plat

Certification:

This is to certify that on May 14, 2018 this field survey was completed on the ground by me or under my direct supervision and that said survey meets or exceeds the "Kansas Minimum Standards" for Boundary Surveys pursuant to K.A.R. 66-12-1.



Timothy Blair Wiswell, PS-1136
Olsson Associates, LS-114



7301 West 133rd Street, Suite 200
Overland Park, KS 66213-4750
TEL: 913.381.1170
FAX: 913.381.1174
www.olssonassociates.com

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

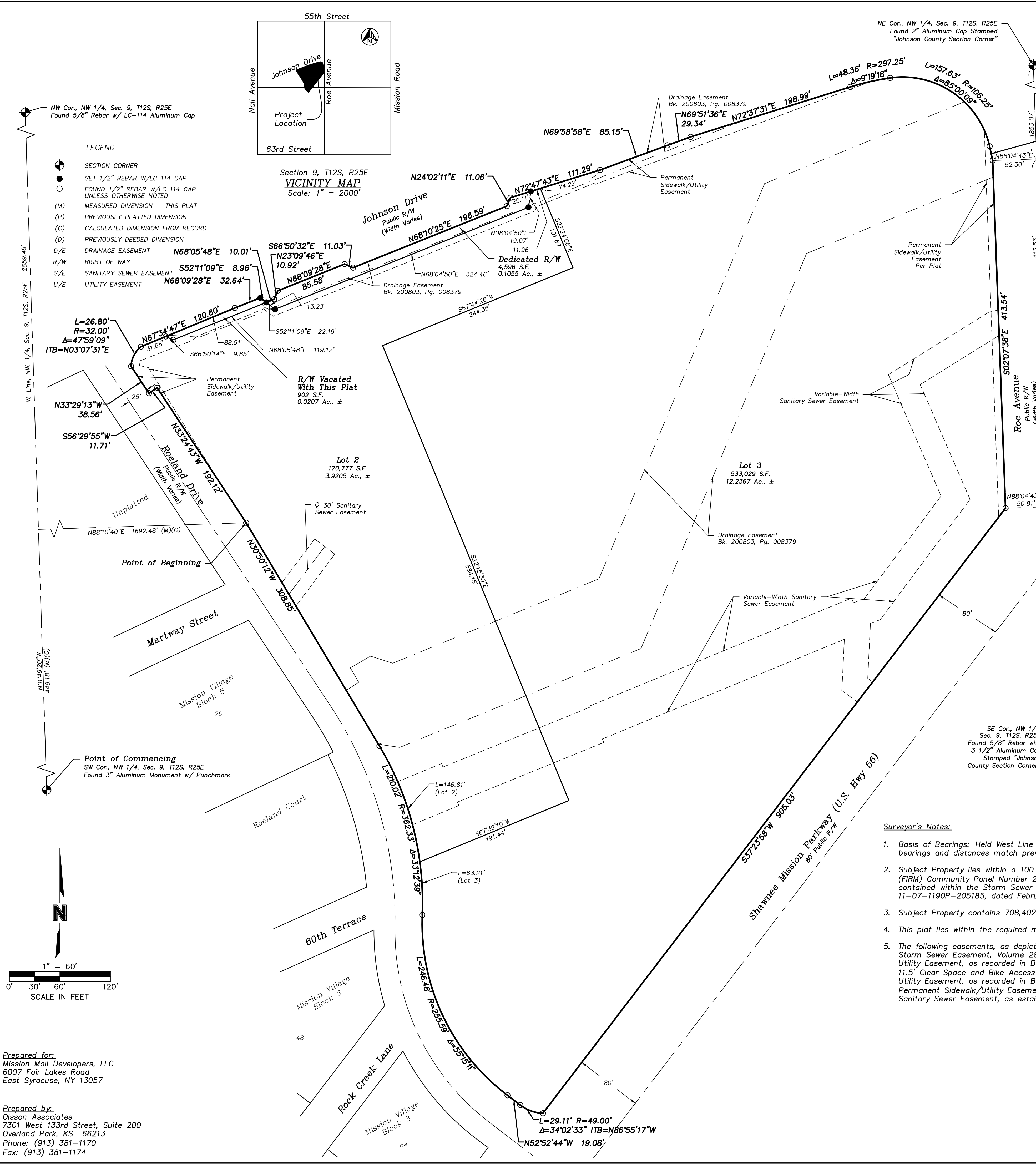
Final Plat of
The Gateway Second Plat

A Replat of Lot 1 & part of Johnson Drive R/W, both of The Gateway First Plat, lying in the West Half of Section 9, Township 12 South, Range 25 East
City of Mission, Johnson County, Kansas

2018

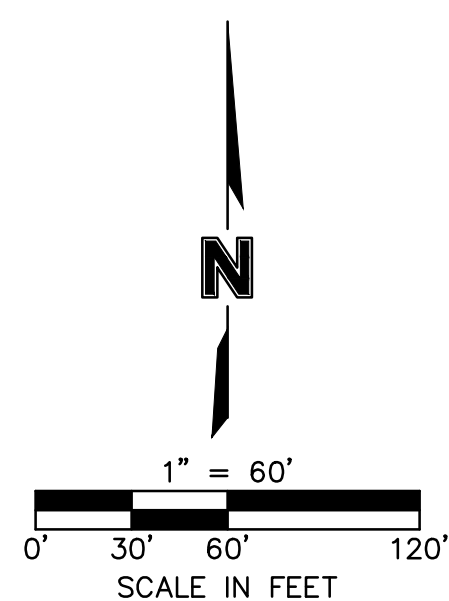
drawn by: MJB
checked by: TBW
approved by: TBW
QA/QC by: TBW
project no.: A15-2039
drawing no.: V FP AS2039
date: 2018.04.16

SHEET
1 of 3



- LEGEND**
- SECTION CORNER
 - SET 1/2" REBAR W/LC 114 CAP
 - FOUND 1/2" REBAR W/LC 114 CAP UNLESS OTHERWISE NOTED
 - (M) MEASURED DIMENSION - THIS PLAT
 - (P) PREVIOUSLY PLATTED DIMENSION
 - (C) CALCULATED DIMENSION FROM RECORD
 - (D) PREVIOUSLY DEEDED DIMENSION
 - D/E DRAINAGE EASEMENT
 - R/W RIGHT OF WAY
 - S/E SANITARY SEWER EASEMENT
 - U/E UTILITY EASEMENT

Section 9, T12S, R25E
VICINITY MAP
Scale: 1" = 2000'



Prepared for:
Mission Mall Developers, LLC
6007 Fair Lakes Road
East Syracuse, NY 13057

Prepared by:
Olsson Associates
7301 West 133rd Street, Suite 200
Overland Park, KS 66213
Phone: (913) 381-1170
Fax: (913) 381-1174

USER: mjbogina
 DATE: May 31, 2018 1:38pm
 D:\temp\Acad\publish_17692\VP_FP_AS2039.dwg
 XREFS:

Final Plat of The Gateway Second Plat

A Replat of Lot 1 and a portion of Johnson Drive Right of Way, both of The Gateway First Plat, a subdivision in the City of Mission, Johnson County, Kansas, lying in the West Half of Section 9, Township 12 South, Range 25 East

Dedications

The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as "The Gateway Second Plat".

The proprietors, successors and assigns, of property described on this plat hereby dedicate for public use all land described on this plat as streets or public ways (designated as Dedicated R/W) not heretofore dedicated. The proprietors, successors and assigns, of property shown on this plat hereby absolve and agree, jointly and severally, to indemnify the City of Mission, Kansas, of any expense incident to the relocation of any existing utility improvements heretofore installed and required to be relocated in accordance with proposed improvements described in this plat.

The undersigned proprietor of the above described land hereby consents and agrees that the Governing Body of any special assessment district shall have the power to release such land proposed to be dedicated for streets and roads, or parts thereof, for public use, from the lien and effect of any special assessments, and that the amount of the unpaid special assessments on such land dedicated, shall become and remain a lien on the remainder of this land fronting or abutting on such dedicated road or street.

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction or maintenance and use of sidewalks, conduits, water, gas, sewer pipes, poles, wires, drainage facilities, irrigation systems, ducts and cables, and similar facilities, upon, over and under these areas outlined and designated on this plat as a "Sidewalk/Utility Easement" is hereby granted to the City of Mission, Kansas with subordinate use of the same by other governmental entities and public utilities as may be authorized by state law to use such easement for other purposes. This easement shall not prevent Grantor from installing cantilevered structures over the easement area so long as such structures do not interfere with Grantee's ability to construct and maintain its improvements installed within the easement area.

A non-exclusive easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction, maintenance or use of conduits, surface drainage facilities, subsurface drainage facilities, and similar facilities, upon, over and under these areas outlined and designated on this plat as "Storm Sewer Easement" is hereby granted to the City of Mission, Kansas. Storm Sewer Easements end at grade, however building foundations can be constructed within said easements below grade.

An easement or license to lay, construct, alter, repair, replace and operate one or more sewer lines and all appurtenances convenient for the collection of sanitary sewage, together with the right of ingress and egress, over and through those areas designated as "Sanitary Sewer Easement" or "S/E" on this plat is hereby dedicated to the Consolidated Main Sewer District of Johnson County, Kansas or their assigns. This easement shall not prevent Grantor from installing cantilevered structures over the easement area so long as such structures do not interfere with Grantee's ability to construct and maintain its sewer lines within the easement area.

The undersigned proprietor, for itself, and its successors and assigns, hereby agrees that the respective owner(s), of buildings on the above described tract of land shall be responsible for the maintenance and repair of all building plumbing and sanitary sewer service lines common to more than one unit, and service lines from the point of connection at the building to the point of connection at the main. Individual unit tenants shall allow access to the units by the property owner and associates as needed for proper maintenance, repair and/or replacement of plumbing lines that are common to more than one unit. In the event the property is replatted to allow the sale of individual units within the building(s), the undersigned proprietor, its successors and assigns shall establish an owners association and record a restrictive covenant obligating such association to repair and maintain all building plumbing common to more than one unit including the aforesaid service lines from such building(s) to the main prior to sale of an individual unit within such building(s).

Execution

IN TESTIMONY WHEREOF, the undersigned proprietors have hereunto subscribed their names.

OWNER - Aryeh Realty, LLC, a Delaware Limited Liability Company

Thomas J. Valenti, Managing Partner

STATE OF _____)
COUNTY OF _____) SS

Be it remembered, that on this _____ day of _____, 2018, before me, a notary public in and for said county and state, came Thomas J. Valenti, Managing Partner of Aryeh Realty, LLC, duly organized and existing under and by virtue of the laws of the State of Delaware; who is personally known to me to be the same person who executed as such officer the foregoing instrument of writing on behalf of said owners, and such persons duly acknowledged the execution of the same to be the free act and deed of said owners.

In witness hereof, I have hereunto subscribed my name and affixed my notarial seal this day and year last above written.

Notary: _____

My appointment expires: _____

Surveyor's Notes:

1. Basis of Bearings: Held West Line of Northwest Quarter of Section 9, Township 12, Range 25 East = N01°49'20"W, Kansas Coordinate System 1983, North Zone. All bearings and distances match previously platted values on The Gateway First Plat, unless otherwise noted.
2. Subject Property lies within a 100 year flood plain as designated on the U.S. Department of Housing, Federal Emergency Management Agency Flood Insurance Rate Map (FIRM) Community Panel Number 20091C0024G, Map Revised August 3, 2009. Per drainage redevelopment within this project, the projected 100-year floodplain is contained within the Storm Sewer culverts lying within the dedicated drainage easements as filed at Book 200803, Page 008379. This is reflected in the LOMR ID 11-07-1190P-205185, dated February 8, 2012.
3. Subject Property contains 708,402 Square Feet, or 16.2627 Acres, more or less.
4. This plat lies within the required minimum closure of 1:10,000.
5. The following easements, as depicted herein, are hereby vacated with the recording of this plat:
Storm Sewer Easement, Volume 2816, Page 90
Utility Easement, as recorded in Book 200803, Page 008378
11.5' Clear Space and Bike Access Easement, as recorded in Book 200808, Page 007719
Utility Easement, as recorded in Book 200808, Page 007720
Permanent Sidewalk/Utility Easement, as established in The Gateway First Plat
Sanitary Sewer Easement, as established in The Gateway First Plat

Approvals

APPROVED BY, the City Council of the City of Mission, Johnson County, Kansas, this _____ day of _____, 2018.

ATTEST: _____
Ron Appletoft, Mayor Martha Sumrall, City Clerk

APPROVED BY, the Planning Commission of the City of Mission, Johnson County, Kansas, this _____ day of _____, 2018.

Mike Lee, Planning Commission Chairperson

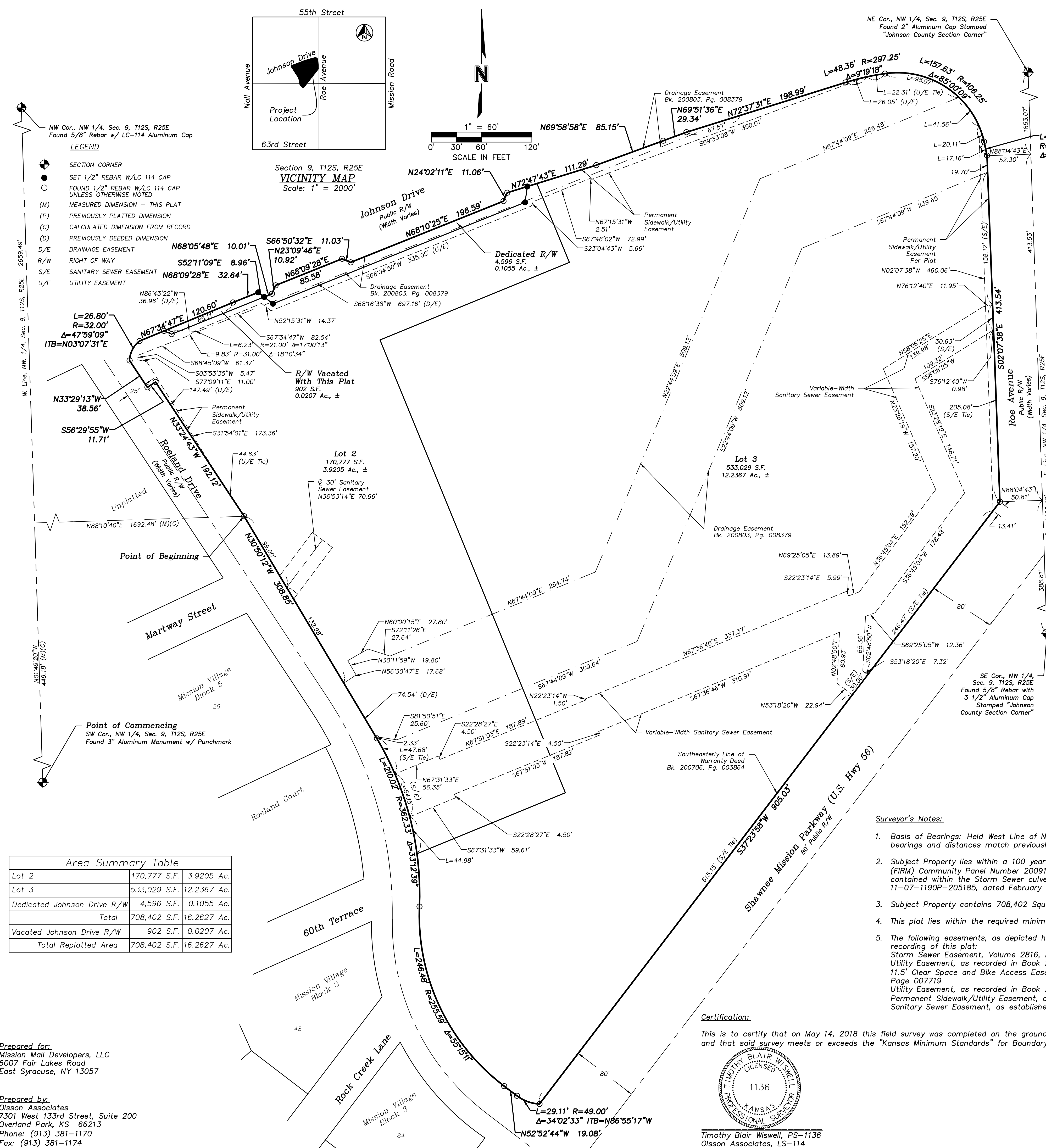
Ashley Elmore, Planning Commission Secretary

Certification:

This is to certify that on May 14, 2018 this field survey was completed on the ground by me or under my direct supervision and that said survey meets or exceeds the "Kansas Minimum Standards" for Boundary Surveys pursuant to K.A.R. 66-12-1.



Timothy Blair Wiswell, PS-1136
Olsson Associates, LS-114



Area Summary Table		
Lot 2	170,777 S.F.	3.9205 Ac.
Lot 3	533,029 S.F.	12.2367 Ac.
Dedicated Johnson Drive R/W	4,596 S.F.	0.1055 Ac.
Total	708,402 S.F.	16.2627 Ac.
Vacated Johnson Drive R/W	902 S.F.	0.0207 Ac.
Total Replatted Area	708,402 S.F.	16.2627 Ac.

Prepared for:
Mission Mall Developers, LLC
6007 Fair Lakes Road
East Syracuse, NY 13057

Prepared by:
Olsson Associates
7301 West 133rd Street, Suite 200
Overland Park, KS 66213
Phone: (913) 381-1170
Fax: (913) 381-1174

DWG: C:\Temp\AcPublish\17692\VP_452030.dwg
 DATE: May 31, 2018 1:38pm
 USER: mjbogina
 XREFS:



7301 West 133rd Street, Suite 200
 Overland Park, KS 66213-4750
 TEL: 913.381.1170
 FAX: 913.381.1174
 www.olsonassociates.com

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	2018.05.31	Revised Dedications, Language & Approval Signature Block	MJB

Final Plat of
The Gateway Second Plat

A Replat of Lot 1 & part of Johnson Drive R/W, both of The Gateway First Plat, lying in the West Half of Section 9, Township 12 South, Range 25 East
City of Mission, Johnson County, Kansas

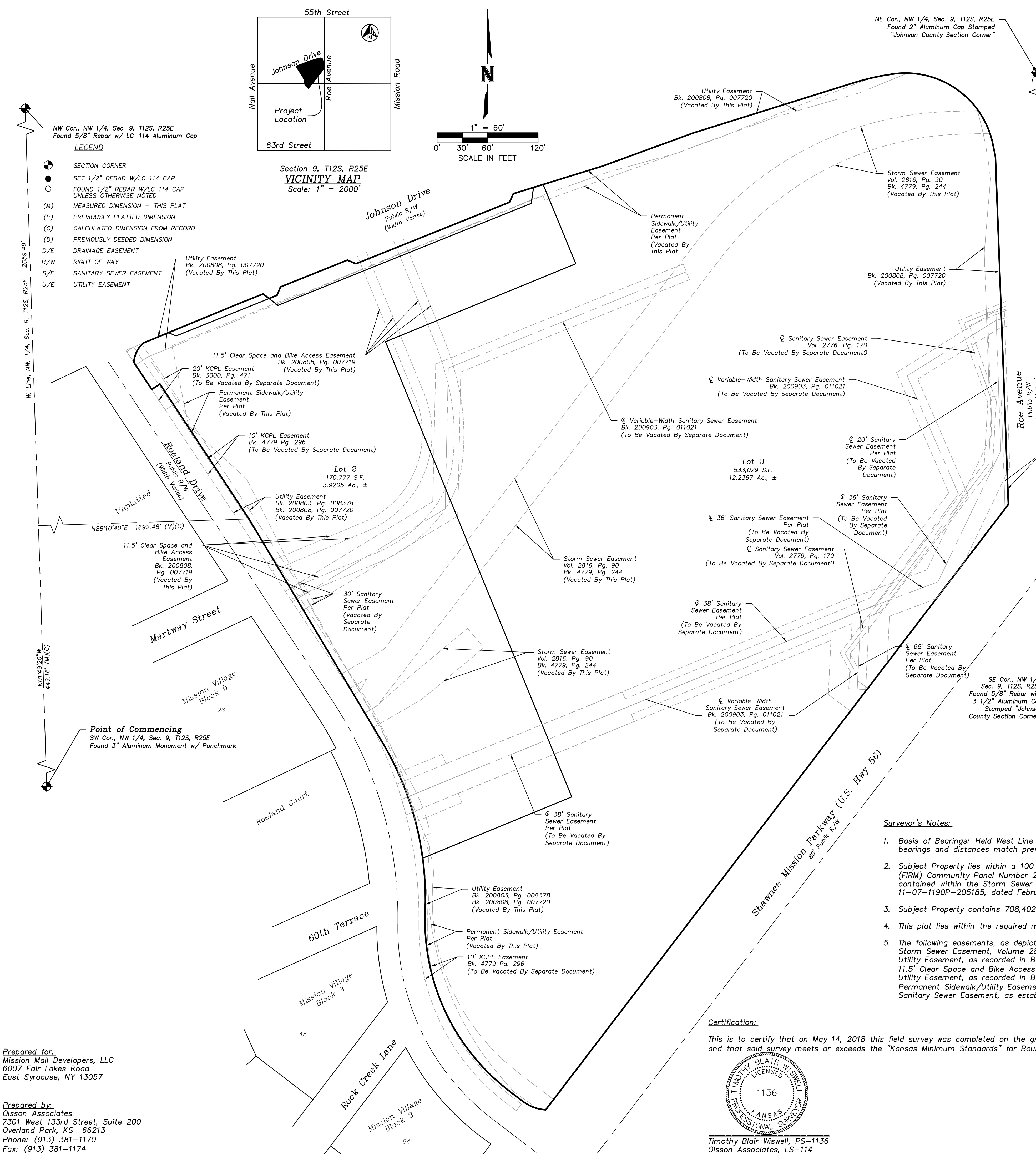
2018

SHEET
2 of 3

Final Plat of The Gateway Second Plat

A Replat of Lot 1 and a portion of Johnson Drive Right of Way, both of The Gateway First Plat, a subdivision in the City of Mission, Johnson County, Kansas, lying in the West Half of Section 9, Township 12 South, Range 25 East

Area Summary Table		
Lot 2	170,777 S.F.	3.9205 Ac.
Lot 3	533,029 S.F.	12.2367 Ac.
Dedicated Johnson Drive R/W	4,596 S.F.	0.1055 Ac.
Total	708,402 S.F.	16.2627 Ac.
Vacated Johnson Drive R/W	902 S.F.	0.0207 Ac.
Total Replatted Area	708,402 S.F.	16.2627 Ac.



Surveyor's Notes:

- Basis of Bearings: Held West Line of Northwest Quarter of Section 9, Township 12, Range 25 East = N01°49'20"W, Kansas Coordinate System 1983, North Zone. All bearings and distances match previously platted values on The Gateway First Plat, unless otherwise noted.
- Subject Property lies within a 100 year flood plain as designated on the U.S. Department of Housing, Federal Emergency Management Agency Flood Insurance Rate Map (FIRM) Community Panel Number 20091C0024G, Map Revised August 3, 2009. Per drainage redevelopment within this project, the projected 100-year floodplain is contained within the Storm Sewer culverts lying within the dedicated drainage easements as filed at Book 200803, Page 008379. This is reflected in the LOMR ID 11-07-1190P-205185, dated February 8, 2012.
- Subject Property contains 708,402 Square Feet, or 16.2627 Acres, more or less.
- This plat lies within the required minimum closure of 1:10,000.
- The following easements, as depicted herein, are hereby vacated with the recording of this plat:
 Storm Sewer Easement, Volume 2816, Page 90
 Utility Easement, as recorded in Book 200803, Page 008378
 11.5' Clear Space and Bike Access Easement, as recorded in Book 200808, Page 007719
 Utility Easement, as recorded in Book 200808, Page 007720
 Permanent Sidewalk/Utility Easement, as established in The Gateway First Plat
 Sanitary Sewer Easement, as established in The Gateway First Plat

Certification:
 This is to certify that on May 14, 2018 this field survey was completed on the ground by me or under my direct supervision and that said survey meets or exceeds the "Kansas Minimum Standards" for Boundary Surveys pursuant to K.A.R. 66-12-1.

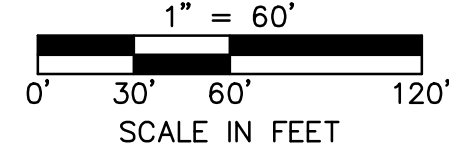


Timothy Blair Wiswell, PS-1136
 Olsson Associates, LS-114

LEGEND

- SECTION CORNER
- SET 1/2" REBAR W/LC 114 CAP
- FOUND 1/2" REBAR W/LC 114 CAP UNLESS OTHERWISE NOTED
- (M) MEASURED DIMENSION - THIS PLAT
- (P) PREVIOUSLY PLATTED DIMENSION
- (C) CALCULATED DIMENSION FROM RECORD
- (D) PREVIOUSLY DEEDED DIMENSION
- D/E DRAINAGE EASEMENT
- R/W RIGHT OF WAY
- S/E SANITARY SEWER EASEMENT
- U/E UTILITY EASEMENT

Section 9, T12S, R25E
VICINITY MAP
 Scale: 1" = 2000'



DWG: C:\Temp\AsPublish\17692\VP_452039.dwg
 DATE: May 31, 2018 1:38pm
 USER: mjbogina
 AREFS:

Prepared for:
 Mission Mall Developers, LLC
 6007 Fair Lakes Road
 East Syracuse, NY 13057

Prepared by:
 Olsson Associates
 7301 West 133rd Street, Suite 200
 Overland Park, KS 66213
 Phone: (913) 381-1170
 Fax: (913) 381-1174

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

Final Plat of
 The Gateway Second Plat
 A Replat of Lot 1 & part of Johnson Drive R/W, both of The Gateway First Plat,
 lying in the West Half of Section 9, Township 12 South, Range 25 East
 City of Mission, Johnson County, Kansas

drawn by: MJB
 checked by: TBW
 approved by: TBW
 QA/QC by: TBW
 project no.: A15-2039
 drawing no.: V FP AS2039
 date: 2018.04.18

City of Mission	Item Number:	3.
ACTION ITEM SUMMARY	Date:	June 25, 2018
Public Works Department	From:	John Belger

Action items require a vote to recommend the item to full City Council for further action.

RE: UPDATED Resolution Approving 2019-2023 CARS Project List

RECOMMENDATION: Approve the Resolution adopting the Five Year City/County Street Improvement Program for the City of Mission for 2019-2023.

DETAILS: Using a combination of state gas tax dollars and County General Fund revenues, the CARS program provides funds to cities to construct and maintain eligible streets. Each year, cities submit a 5-year road improvement plan to the County. The County scores projects and selects those which will receive funding (up to 50% of the project's construction and construction inspection costs). Cities are responsible for design, right-of-way, and utility relocation costs. Mission's CARS-eligible streets include:

- Lamar Avenue (Foxridge to 67th)
- 51st Street (Lamar east to City Limit)
- Foxridge Drive (56th to Lamar)
- Johnson Drive (Metcalf to Roe)
- Roe Avenue (Johnson Drive to 63rd)
- Nall Avenue (Johnson Drive to 67th)
- Martway Street (Metcalf to Roeland)
- Roeland Drive (Johnson Drive to SMP)
- Broadmoor Street (Johnson Drive to Martway)

Similar to the City's CIP, this document primarily serves as a budgeting and forecasting tool. Each City is required to pass a resolution adopting a 5-year plan based on their own unique goals and objectives. These plans are reviewed by CARS staff, who program projects for the next fiscal year.

The Council originally approved a 2019-2023 CARS Resolution in April. Since that time, estimated project costs for the Broadmoor project have been revised downward by \$167,149 and the resolution needs to be updated before final submission to the County.

The projects are presented to the Board of County Commissioners, and ultimately adopted as part of their annual budget process. The final commitment of funds for both the County and participating cities occurs through the approval of specific interlocal agreements for each project. Staff recommends the following CARS projects be included in the 2019-2023 planning cycle:

Related Statute/City Ordinance:	N/A
Line Item Code/Description:	Various
Available Budget:	Included in 2019-2023 CIP and funded with Street Sales Tax revenues and/or the mill levy designated for streets.

City of Mission	Item Number:	3.
ACTION ITEM SUMMARY	Date:	June 25, 2018
Public Works Department	From:	John Belger

Action items require a vote to recommend the item to full City Council for further action.

2019	2020	2021	2022	2023
Broadmoor (Johnson Drive to Martway)	Foxridge Phase II (51st to Lamar Ave)	None	None	Johnson Drive (Metcalf to Lamar)

The project details include:

Broadmoor- Johnson Drive to Martway (2019): Full reconstruction, including new curb, storm sewer infrastructure, ADA improvements, pavement, pavement markings, and street signs. Installation of a new traffic signal at Johnson Drive and Broadmoor. Total estimated project cost: \$1,162,706

Foxridge Phase II (2020): Foxridge Drive between 51st Street and Lamar Avenue is a two lane, 32 ft. wide, minor collector serving multi-family, residential, commercial and industrial traffic. Due to the location of the street being at the bottom of a hill, there is a significant amount of water damage to the surface of the pavement, subgrade, and curb and gutter. This section of Foxridge Drive lacks sidewalks, leaving pedestrians to walk in the street. Proposed improvements call for full depth pavement replacement, replacement of curb and gutter, and new stormwater infrastructure. An underdrain system will be installed to better handle runoff. Pedestrian improvements will be made. Total estimated project cost: \$5,575,314

Johnson Drive- Metcalf to Lamar (2023): Full depth street rehabilitation and Johnson Drive stormwater interceptor, new catch basins, storm sewers, curb/gutter, sidewalks, pavement markings, street signs, ADA ramps, street lights, and traffic signals. Total estimated project cost: \$10,815,685

Approval of the attached resolution does not specifically commit to any expenditure of funds and its purpose is to communicate to the County the CARS eligible projects the City is considering over the 2019-2023 planning horizon.

CFAA CONSIDERATIONS/IMPACTS: These projects support a number of the checklist items in the Transportation and Mobility category. They will address ADA compliance and sidewalk connectivity to provide pedestrian modes of transportation. Street lighting will be evaluated to ensure adequate lighting in these areas.

Related Statute/City Ordinance:	N/A
Line Item Code/Description:	Various
Available Budget:	Included in 2019-2023 CIP and funded with Street Sales Tax revenues and/or the mill levy designated for streets.

County Assistance Road System

2019-2023 Five Year Program

Participating City: Mission

Priority	Project Location	Proposed Start/ Finish	Project Description	CARS Route Classification		CARS Program Funding Request	CARS Participation Eligible		Comprehensive Project Budget Total
				Major	Minor		Yes	No	
2019	Broadmoor (Johnson Drive to Martway)	3/18-12/18	Full reconstruction, including new curb, storm sewer infrastructure, ADA improvements, pavement, pavement markings, and street signs. Installation of a new traffic signal at Johnson Drive and Broadmoor.		X	\$570,000	\$1,148,355	\$181,500	\$1,329,855
2020	Foxridge (51st to Lamar)	3/19-12/19	Full reconstruction, including new curb/gutter, catch basin, storm sewer, sidewalks, ADA ramps, pavement markings, and street signs, and installation of a 1,000-1,500 ft. under-drain to catch downhill runoff		X	\$2,000,000	\$4,017,405	\$788,900	\$4,806,305
2021	No Project	N/A	N/A			-	-	-	-
2022	No Project	N/A	N/A			-	-	-	-
2023	Johnson Drive (Metcalf to Lamar)	3/22-12/22	Full depth street rehabilitation and Johnson Drive stormwater interceptor, new catch basins, storm sewers, curb/gutter, sidewalks, pavement markings, street signs, ADA ramps, street lights, and traffic signals	X		\$1,500,000	\$8,677,989	\$2,094,269	\$10,772,258
				TOTALS:		\$4,070,000	\$13,843,749	\$3,064,669	\$16,908,418

**CITY OF MISSION
RESOLUTION NO. _____**

A RESOLUTION APPROVING A FIVE-YEAR CITY/COUNTY STREET IMPROVEMENT PROGRAM.

WHEREAS, The City of Mission desires to obtain County funds for certain street improvement projects within the City; and

WHEREAS, in order to have projects considered for the CARS Program by the Johnson County Board of Commissioners, the Governing Body must submit a written five-year road improvement program request; and

WHEREAS, all requests must be accompanied by a resolution which provides that included projects have been reviewed and approved by the Governing Body; and

WHEREAS, the Council previously approved Resolution No. 1003 on April 18th, 2018, and said Resolution requires updating to address changes in cost estimates for the Broadmoor Project (2019); and

WHEREAS, the 2019-2023 CARS Program is an important budgeting and planning document for both the City of Mission and Johnson County, but does not specifically commit any expenditures on behalf of the City of Mission.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF MISSION, KANSAS:

SECTION 1. That the attached Five-Year City/County Street Improvement Program has been reviewed and approved for submittal to the Johnson County Board of Commissioners as the City's 2019-2023 CARS Program request.

THIS RESOLUTION IS PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF MISSION, THIS 18th DAY OF JULY 2018.

THIS RESOLUTION IS APPROVED BY THE MAYOR THIS 18th DAY OF JULY 2018.

Ronald E. Appletoft, Mayor

ATTEST: (Seal)

Martha Sumrall, City Clerk

**County Assistance Road System
2019-2023 Five Year Program**

Participating City: Mission

Priority	Project Location	Proposed Start/ Finish	Project Description	CARS Route Classification		CARS Program Funding Request	CARS Participation Eligible		Comprehensive Project Budget Total
				Major	Minor		Yes	No	
				2019	Broadmoor (Johnson Drive to Martway)		3/18-12/18	Full reconstruction, including new curb, storm sewer infrastructure, ADA improvements, pavement, pavement markings, and street signs. Installation of a new traffic signal at Johnson Drive and Broadmoor.	
2020	Foxridge (51st to Lamar)	3/19-12/19	Full reconstruction, including new curb/gutter, catch basin, storm sewer, sidewalks, ADA ramps, pavement markings, and street signs, and installation of a 1,000-1,500 ft. under-drain to catch downhill runoff		X	\$1,780,000	\$3,576,161	\$730,066	\$4,306,227
2021	No Project	N/A	N/A			-	-	-	-
2022	No Project	N/A	N/A			-	-	-	-
2023	Johnson Drive (Metcalf to Lamar)	3/23-12/23	Full depth street rehabilitation and Johnson Drive stormwater interceptor, new catch basins, storm sewers, curb/gutter, sidewalks, pavement markings, street signs, ADA ramps, street lights, and traffic signals	X		\$1,500,000	\$8,677,989	\$2,094,269	\$10,772,258
TOTALS:						\$3,730,000	\$13,160,736	\$3,080,455	\$16,241,191

City of Mission	Item Number:	4.
ACTION ITEM SUMMARY	Date:	June 21, 2018
Public Works	From:	John Belger

Action items require a vote to recommend the item to full City Council for further action.

RE: City Hall Concrete Repairs

RECOMMENDATION: Approve the proposal from AR Construction LLC for concrete repairs in an amount not to exceed \$15,384.00.

DETAILS: Over the past few years, the brick pavers outside of City Hall at the east entrance and the ramp leading from the north parking lot to the entrance of the police station have deteriorated to the point they are in need of replacement.

Public Works staff solicited bids for replacement. Three bids were requested, and Concrete Services did not respond to the request. Of the two contractors who responded, AR Construction LLC has been determined to be the lowest and most responsible bid. A copy of the proposal has been included in the packet.

Contractor	Amount
AR Construction LLC	\$15,384.00
Overland Concrete	\$17,625.00

The scope of this project includes removal of the pavers, installation of reinforced concrete, and replacement of the steps in front of the east entrance and the Police Department. The proposal from AR Construction also includes new handrails in these locations.

AR Construction recently completed work at the Mission Market site pouring concrete pads. Funds will be budgeted from the PW Maintenance Programs allocation included in the 2018 CIP.

CFAA CONSIDERATIONS/IMPACTS: The current brick pavers in these areas have deteriorated to a point they are unsafe. Pavers are also more susceptible to freeze thaw cycles, causing them to move and become uneven over time. Concrete has a long life span and is less vulnerable to the issues mentioned previously.

Related Statute/City Ordinance:	NA
Line Item Code/Description:	PW Maintenance Programs
Available Budget:	\$75,000

AR Construction LLC
1607 Lauren Lane
Kearney, MO 64060 US
austin@reeceexcavating.com

ESTIMATE

ADDRESS
Brant Mortan
City Hall Of Mission Kansas
4775 Lamar
Mission, Kansas 66202

ESTIMATE # 1013
DATE 05/01/2018

SERVICE	DESCRIPTION	QTY	RATE	AMOUNT
Services	New handrails installed black color	7	500.00	3,500.00
concrete	Remove pavers and install new 4inch concrete with #4 rebar on two foot centers and 4000 psi mix. 1,168 sgft	1,168	6.75	7,884.00
concrete	Demo and replace five steps 4 foot wide	5	300.00	1,500.00
concrete	Demo and replace 18 foot step in front of the city hall	1	2,500.00	2,500.00

TOTAL **\$15,384.00**

Accepted By

Accepted Date

OVERLAND CONCRETE CONSTRUCTION, INC.

P.O. BOX 325
Olathe, KS 66051

Office (913) 393-4200
Fax (913) 393-4203

February 27, 2018

Submitted to:

Brent Morton City of Mission
4775 Lamar
Mission, KS 66202
Work: 913-676-8380
Cell: 816-719-9608 bmorton@missionks.org

Work to be performed at:

City of Mission
6090 Woodson Rd.
Mission, KS -66204

All material is guaranteed to be installed and work performed as specified in accordance with any specifications, drawings or blue prints submitted and site conditions present at date of proposal, and completed in a clean, workman-like manner using knowledge for concrete placement services which meets or exceeds generally acceptable standards in our region.

Scope of Work

We propose to furnish the materials and perform the labor for the completion of the following:

Remove & Replace the following:

City Hall Entry: 16'9" x 6'3" stoop, (4) 16'9"x12"6" steps, 610SF sidewalk, 60SF sidewalk with (2) 6'x12"x6" steps.

Police: 14'x18'9"walk entry, 6'x33' ramp, 50SF sidewalk with (3) 5'x12"x6" steps at side entry.

Notify utilities. (required)

Tear out by Skid Steer Loader & Dingo and haul away all concrete to be replaced *to approved site*.

Set all necessary forms for proper grade and elevation.

Mechanically compact and level gravel for proper sub-base.

Install #4 rebar every 24 inches on center.

Place and broom finish 4" of air-entrained KCM MB 4K Mix for slabs.

Install tooled and/or sawn control joints as needed for stress relief, proper jointing and crack allowance

Install expansion joints as needed.

Apply cure and acrylic film-forming sealer.

Broom clean job site of construction debris.

WORKMAN'S COMP. AND PUBLIC LIABILITY IS TAKEN OUT BY OVERLAND CONCRETE CONSTRUCTION FOR YOUR PROTECTION

Exclusions: any cost arising from: (Please review all contract provisions.) Other required work will be priced additionally
Concrete projects other than described in Scope of Work or in Options on pricing page, i.e., curb & gutter replacement, garage lips, etc.
Trade work other than concrete involving: railings, columns, posts, carpentry, masonry, lighting /electrical, plumbing, painting, etc.
Irrigation system damage (heads and lines), Landscaping, Backfilling edges, damage to tree roots from excavation.
Buried utility, bedrock or other unknown conflict, as well as, hidden obstacles and structures. Utility line damage from excavation.*
Excavation or re-grading due to greater than standard 6" removal of pavement or discovery of bedrock.*
Demolition by jackhammer other than as indicated at homeowner's request (additional equipment and labor costs will be applicable)
Damage to structures and appurtenances from indirect effects of demolition, including but not limited to, stucco or foundations.
Adjustments to garage doors, rails, and electronic garage door openers when garage floor or lip is replaced or repaired.
Tests (including, compaction tests, cylinder tests). Fee-based Permits, Bonds, Caulking.
Street maintenance such as but not limited to sealcoating
Damage from acts of God such as hail, rain, high wind, or earth settlement
*Any and all repairs not listed above, including alterations, additions, or alternate methods to and for scope of work
We do not warranty for any work beyond the "Scope of Work". We make no other warranties, express or implied.*

*Additional costs associated with demolition, excavation, tear-out, hauling and dump fees would be estimated upon discovery.

Overland Concrete Construction, Inc. uses its years of experience, on-going training, and knowledge to place and finish concrete according to ACI specifications, PCA guidelines and industry standards. We create top quality concrete hardscapes that can provide years of high-performance, durability and enjoyment. Our many referrals speak to our dedication to aesthetically appealing and quality workmanship.

CONTRACT PROVISIONS

Concrete is designed for its compressive strength and durability. Concrete consists of cement, sand, water, approved admixtures as well as natural, imperfect aggregates, and other materials. Placement conditions, including, but not limited to, temperature, sunlight, wind velocity and humidity effect the rate of cement hydration and curing. Each concrete load is ordered and designed to meet these, as well as, other variable and fluctuating conditions and project design specifications. Color and finish variances due to these and other factors such as batching variances, finishing techniques, sheen, texture and variable cementitious properties, are inherent to concrete placement and combine to give concrete, colored or not, its unique aesthetic appeal. Hard troweled surfaces, such as floors and troweled edges may strongly darken and mottle the color of concrete, especially in the early curing stages. *We make no warranty, implied or otherwise, to create uniformly colored or finished concrete.*

Cracks in Concrete: If it were possible to create concrete that would not crack, we could eliminate control joints and the need for reinforcement such as rebar. Properly designed control joints are utilized to defend against random cracks. We encourage the concrete to crack within the control joints by employing proper spacing, depth and placement of the joints. Concrete is under the most stress during its curing process. Shrinkage during the curing process, expansion and contraction of concrete during freeze-thaw cycles, high heat, sub grade movement, excessive load-bearing weight, and tensile stresses are a few reasons why concrete cracks in undesirable locations. Hydration is a key component for crack prevention throughout the life of the concrete, especially during dry seasons, but particularly during the initial "setting of concrete" stage (plastic/shrinkage cracking) where the most dramatic changes in hydration and shrinkage occur. Drought conditions may adversely affect concrete. Detrimental effects to the structural integrity of the slab when a crack develops outside the joints are no greater than when it runs inside the joint as planned. Cracks rarely affect structural integrity. Most random cracks look unattractive, and although they permit entrance of water, do not lead to progressive deterioration. Properly placed rebar, and fibermesh additives are used independently and in combinations to reinforce the concrete and provide support and stability for all control, construction, and shrinkage cracks. Overland Concrete Construction, Inc. takes any and all precautions to significantly reduce and/or eliminate cracking and surface defects by adhering to industry standards and technology. *However, due to the natural components, material tendencies, clay soils, characteristics, and fluctuating working conditions which are inherent to concrete placement, it is not our policy to guarantee crack-free concrete or concrete that is free of surface defects.*

Concrete construction involves heavy machinery and is considered heavy construction. We take many precautions to minimize and/or eliminate damage to your property; however, due to the nature of pavement and earth excavation, some damage is unavoidable. Overland Concrete does not assume the risk or cost to repair or replace damage to foundations, flatwork, asphalt, lawns, etc. from equipment used to necessitate construction when egress over existing structures and landscaping is required. Heavy equipment may cause damage to lawn irrigation systems as well as existing concrete flatwork. Damage to landscaping around forms is unavoidable. Overland Concrete does not assume the risk or cost to repair or replace irrigation components, existing concrete, landscaping, etc. due to construction necessary to complete work. To avoid damage to your sprinkler system, we recommend that you or your irrigation company move sprinkler lines and heads at least 10" from the new construction form edges. If these cannot be moved, we ask that you mark all sprinkler heads, valves, and controls, as well as any other drain wash out grates with flags or fluorescent paint. We apologize for the inconvenience that accompanies construction but regret that inconveniences such as noise, dust, and fume are unavoidable. Please plan accordingly.

Artistically impressed (Stamped) concrete includes integral, hardener, and release coloring, stamping and acid-staining of concrete. There is an element of uncertainty and unpredictability in the use and appearance of artistically impressed concrete. All color samples on brochures, charts, and test panels offer a close approximation of the desired finished product, but finished applications will vary from job to job depending on a number of factors. Impression depth and consistency of surface texture, pattern, and depth will vary throughout the slab(s) depending on many of the same factors. These factors include the finishing technique, concrete design mix, curing, age and present, as well as changing conditions of the concrete, base color and surface porosity. Low areas within the surface of the concrete may occur in the stamping process and are considered acceptable. Owner accepts and acknowledges that surface depth may vary and minor ponding may occur. Color depth will vary during placement and curing and will only achieve its full color after sealing. As with all concrete, impression depth, irregularities, color variations and mottling create a truly unique and enjoyable hardscape. Uniform color, pattern depth, or surface regularity is neither desirable nor possible to produce or match with consistency.

Concrete projects are sealed with a protective coating that requires periodic maintenance. Failure to maintain the sealed surface can result in deterioration of the concrete surface. **DO NOT use de-icing salts, such as calcium or sodium chloride, on concrete less than one year old. Never use ammonium sulfate or ammonium nitrate (fertilizers) as a deicer; these are chemically aggressive and destroy concrete surfaces.** Advise lawn care professionals to keep all fertilizers away from concrete surfaces. Using *any kind of deicer at any time* puts pavements through accelerated freeze-thaw cycles which can lead to concrete degeneration. Use clean sand or cat litter for traction. **Avoid parking on driveways (especially during the first winter) when street salts can drip from vehicles and undermine newly placed concrete surfaces.** Overland Concrete cannot be held liable for damages done to concrete by chemicals and de-icers placed directly or indirectly on the concrete. It is advisable to clean driveways as weather permits to remove residual chemicals that may be tracked onto your driveway during the winter months by automobiles or by lawn care maintenance.

Grading new construction edges. It is important to backfill all edges of construction so that water cannot undermine your new concrete hardscape. When landscaping near residential concrete, please keep in mind proper drainage and water runoff that could undermine the integrity of your concrete surfaces and structures. Trees and shrubs can create structural problems if planted too closely. Topsoil and its placement for grading will be at the owners' expense. *Unless otherwise specified in writing, the cost to replace soil, sod, seed, or landscaping is not included in the pricing.*

Contractors other than Overland Concrete, necessitated for construction that perform work in conjunction with the concrete project are not provided for in this contract. Contractors such as, but not limited to, electricians, plumbers, irrigation specialists, landscapers, brick masons, etc. will be independent of Overland Concrete and owner shall hold harmless, Overland Concrete, for such work or for loss or damages which may result there from. Repair work other than what is outlined in the proposal/contract is the homeowner's responsibility. If access through a fence (wood or chain link only in good repair) is necessary for construction, we will provide labor only, to remove any existing fence panels or gates. Careful attention will be paid to any disassembly of pre-existing wooden structures such as, but not limited to, privacy fences, rails, decks, etc. to allow for construction. However, we assume no risk to repair, replace or adjust any such structures unless specified in scope of work. Overland Concrete is not responsible for moving furniture, fixtures, plants, etc. If such items must be moved to facilitate construction as agreeably scheduled, a charge above the contract will be assessed. Furthermore, if an Overland Concrete employee should attempt to move such item, Overland Concrete shall not be held responsible for any damage resulting there from. If construction must be delayed to allow others to make construction area accessible, or delayed for any reason once underway, or postponed within 24 hrs of project commencement, a \$500.00 re-mobilization fee will be assessed.

WINTER 2018 PRICING:

Pricing guaranteed for work performed by April 30, 2018. (Schedule fills fast. Call early if interested!)
Based on square footage as determined by above measurements and site conditions present at time of estimate.
Based on all design specifications submitted for consideration prior to proposal date. (Tax Excluded)

PLEASE MARK OPTIONS DESIRED

Project as specified \$17,625.00

We have provided this estimate as requested, according to specifications that meet or exceed standard specifications provided by similar contractors in our area. We are also happy to offer the following options. We would be happy to discuss any of these options or address any other questions or issues regarding specifics of concrete placement with you.

Payment Terms: 50% DUE AT PROJECT COMMENCEMENT, WITH FINAL BALANCE DUE UPON PLACEMENT OF CONCRETE.
Should any action be necessary to enforce the terms of this agreement, Overland Concrete shall be entitled to recover all costs and expenses, including reasonable attorney fees, incurred therein. Customer shall pay a late charge in the amount of 5% of the amount of the billing, should payment not be received within 10 days from the date of the billing. No warranty work will be performed on projects with unpaid or overdue balances. In addition to any late charge incurred by customer, interest at the annual rate of 18% will be charged with interest accruing from the billing statement. Invoices are payable upon receipt. Deposits are non-refundable.

This Agreement shall be deemed to have been made and delivered in the state of Kansas. The laws of the state of Kansas govern this Agreement, and venue for any legal action shall lie only in the District Court of Johnson County, Kansas, located in Olathe, Kansas.

Any alteration or deviations from the above specifications involving extra costs will become an extra charge over and above the estimate. Any design specifications or directives submitted after initial proposal will be considered a change order and will involve extra charges. All agreements are contingent upon strikes, accidents, or delays beyond our control. Warranty work performed only after payment in full. Overland Concrete Construction, Inc takes out Workman's compensation and public liability.

The aforementioned work and specifications are hereby submitted for consideration. We are grateful for the opportunity to bid your project. Please call if we can clarify anything regarding this proposal

Respectfully Submitted: Overland Concrete Construction

Per: Sean Campbell

DO NOT CUT AT LINE

Acceptance of Proposal

I understand and agree to the terms of the agreement and the above prices, payment terms, specifications, provisions and conditions are satisfactory and are hereby accepted. You are hereby authorized to do the work as specified.

Date _____ Property Owner Signature _____

Please mark options desired, sign, date, and return this proposal in its entirety.

Our work is scheduled on a first-come, first-serve basis. Upon receipt of signed contract and a \$250.00 deposit, a tentative start date will be assigned for your project. Next payment installment will be due upon commencement of project for 50 % of the remaining balance.

Forms of payment accepted: Cash, Check, MasterCard and Visa
Mail signed contract and checks to P.O. Box 325 Olathe, KS 66051
MasterCard and Visa payments will be charged 2.5% applicable processing fee

City of Mission	Item Number:	5.
DISCUSSION ITEM SUMMARY	Date:	July 2, 2018
ADMINISTRATION	From:	Emily Randel

Discussion items allow the committee the opportunity to freely discuss the issue at hand.

RE: City communication with Mission businesses

DETAILS: The Johnson Drive reconstruction project included streetscape improvements intended to improve the aesthetics of the area and to invite more pedestrian activity and interaction with adjacent businesses. Some business owners in the downtown district have taken advantage of the additional outdoor space in several ways including using outdoor furniture, hanging lights, displaying or storing merchandise, or installing free libraries or decorative items.

The City does not have a specific set of guidelines about what is allowed or not allowed on the public sidewalks throughout the downtown district. The City has an interest in seeing the businesses continue to explore uses that will attract new visitors to the district. At the same time, it is vital that the public sidewalks must remain passable, the area is safe, and that the hardscape investment is not damaged.

Emily Randel and Danielle Sitzman attended a meeting of The Mission Business Partnership (MBP) on August 23, 2017 to discuss these issues. The discussion led to an acknowledgement that proactive communication could be improved between the City and the business community. The MBP currently has a new member welcome packet for new businesses. The business group suggested the City prepare a handout or checklist to include in the MBP's welcome materials. The handout would flag issues for consideration and suggest checking with the City on those matters. The handout would include answers to common questions facing those opening businesses or operating in Mission for the first time. A draft of the handout is currently under review by the Mission Business Partnership and will be provided at the committee meeting.

Emily Randel was designated as a point person for businesses to call when they are considering new ideas so that the City's management team has a chance to review and look for solutions which will accomplish the goals of both the business and the City. There may be some cases when current activities should be restricted, which would require better definition of allowable activities in the area.

CFAA CONSIDERATIONS/IMPACTS: Maintaining a walkable and inviting downtown district will help residents and visitors of all ages and abilities enjoy the area. When residents feel comfortable visiting the area, they are more likely to return and to participate in community events held there, building a sense of connection and decreasing isolation.

Related Statute/City Ordinance:	N/A
Line Item Code/Description:	N/A
Available Budget:	N/A

City of Mission	Item Number:	6.
DISCUSSION ITEM SUMMARY	Date:	June 28, 2018
PUBLIC WORKS	From:	John Belger

Discussion items allow the committee the opportunity to freely discuss the issue at hand.

RE: 2018 Residential Street Maintenance Program

DETAILS: Mission's annual residential Street Maintenance Program was implemented in 2011 and has historically included a variety of treatments including mill and overlay, seal application, spot curb replacement, ADA improvements, and on-going data collection. The program has touched approximately 50 lane miles of residential roadway since its inception.

In late 2017, Stantec completed a comprehensive inventory and assessment update of all the pavement, curb, sidewalk, and ramps in Mission. The last comprehensive update, which only included pavement, was completed in 2008. Because of the length of time between inventories, and the difference in the method of data collection, there are a number of variables staff is working to evaluate further to ensure we continue the program in the most efficient and cost-effective manner possible.

Annually, the budget has historically included approximately \$350,000 for the residential street maintenance program. Staff recommends putting the seal and mill and overlay treatments on hold for 2018. This would allow for a complete analysis resulting in a revised residential street program to be presented for Council consideration later this fall. As such, Staff has prepared a program for 2018 which addresses some projects which haven't fit cleanly in other categories over the years and ensures the resources continue benefiting Mission's transportation network. The following projects are recommended for 2018:

1. Highland Sidewalk Replacement: There are two sidewalks that connect Cedar Street to the campus at Highlands Elementary School. This project has been identified by residents/students in the area, and was included in the Safe Routes to School (SRTS) Phase 1 Study completed in May 2016. The SRTS study focused on infrastructure that was adjacent to schools or commonly used routes to get to area schools. Current cost estimate: \$55,000.
2. 60th and Roe ADA Ramp: The ramp on the northwest corner of Roe Avenue and 60th Street has been damaged by trucks attempting to turn the corner from southbound Roe to westbound 60th Street. A design option that would modify the curb and ramp to accommodate the turning radius of large trucks accessing Shawnee Mission Parkway has been identified. Current cost estimate: \$20,000.
3. Mill and Overlay: Mill and overlay the 52nd Street cul-de-sac, just west of Lamar Avenue, where previous chip seal treatments have deteriorated due to turning movements of heavy trash trucks. Estimated cost: \$25,000 for pavement only, \$65,000 if curb and sidewalk are included.

Related Statute/City Ordinance:	
Line Item Code/Description:	03-90-801-11 - Street Repair and Maintenance (Special Highway Fund) 25-90-805-09 - Capital Projects (Capital Improvement Fund)
Available Budget:	\$425,000

City of Mission	Item Number:	6.
DISCUSSION ITEM SUMMARY	Date:	June 28, 2018
PUBLIC WORKS	From:	John Belger

Discussion items allow the committee the opportunity to freely discuss the issue at hand.

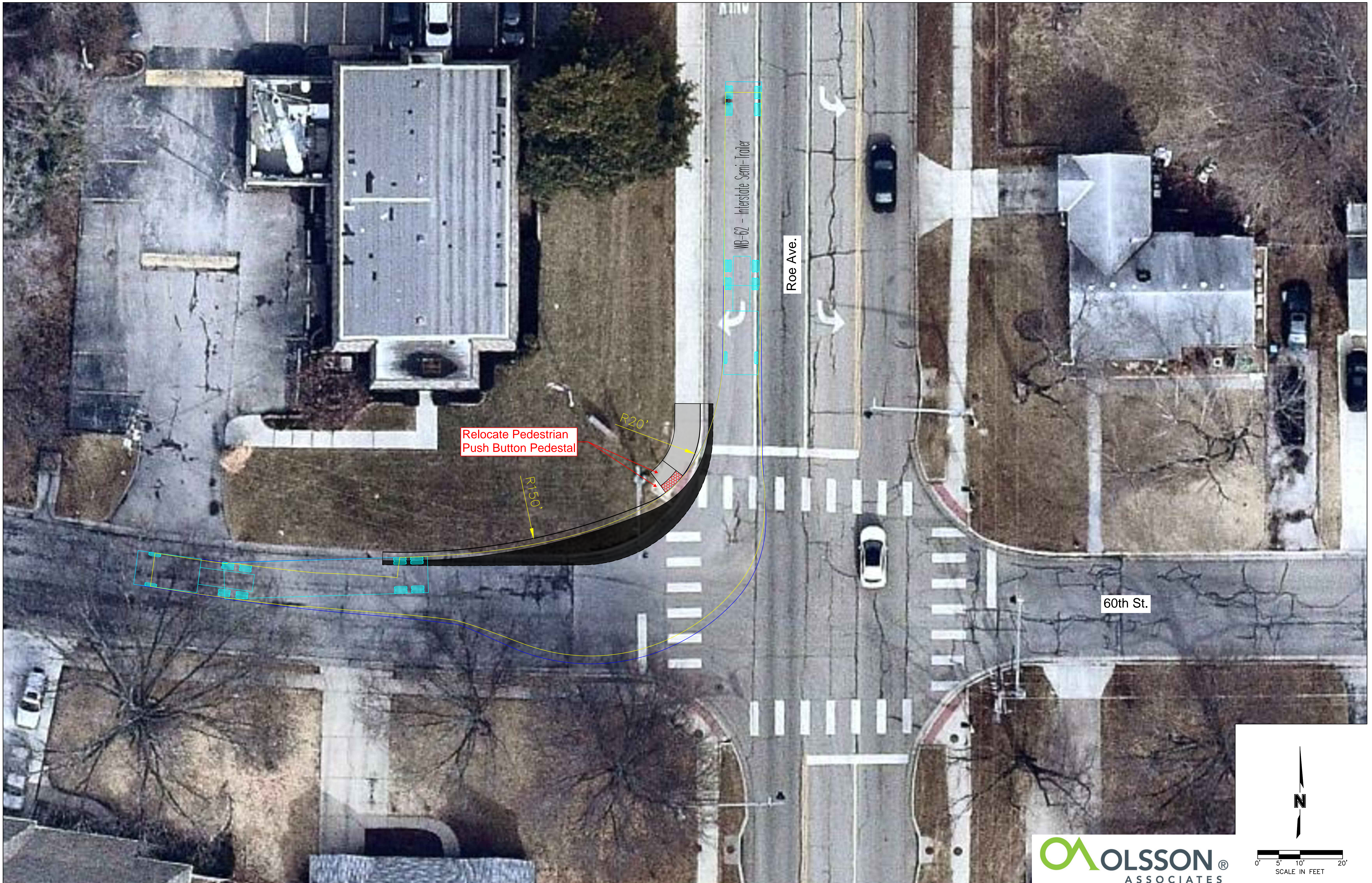
4. Geotechnical Analysis: Work with the City's on-call engineers to complete the geotechnical analysis of all streets in Mission. By finishing this work, staff will have comprehensive information on street condition that will assist in reformatting the residential street program. Estimated cost: \$200,000.
5. Traffic Striping: Restripe high traffic areas (vehicle or pedestrian) to improve visibility and safety. Estimated cost: \$40,000. Areas slated for restriping include the following:
 - Johnson Drive & Nall Avenue intersection
 - Johnson Drive & Martway Street intersection
 - 51st & Lamar Avenue
 - Foxridge Drive & Lamar Avenue
6. Spot Curb Repairs: Strong consideration was given to a large scale curb replacement program in 2018. Upon review of these areas with our on call engineers, it was decided that full depth reconstruction would be required in order for the improvements to hold up over the long term. Instead, staff is focusing on repairing smaller areas of concern including areas that hold water, cause water issues, or are in front of driveways. Staff is in the process of soliciting bids for curb replacement from contractors, but there would be approximately \$45,000 available for curb work.

A total of \$425,000 is available to funds these projects (\$350,000 from the Residential Street Maintenance Program and \$75,000 from PW Maintenance Programs). The costs are shared between the Special Highway Fund and the Capital Improvement Fund. The recommended projects for 2018 are summarized below:

Highlands Sidewalks	\$ 55,000
60th/Roe ADA Ramp	\$ 20,000
52nd St Cul-de-sac	\$ 65,000
Geotechnical Analysis	\$200,000
Traffic Striping	\$ 40,000
Spot Curb Repairs	<u>\$ 45,000</u>
 Total	 \$425,000

CFAA CONSIDERATIONS/IMPACTS: Along with surface treatment to the street, there are many items this program aims to improve. ADA ramps, sidewalk connectivity, and traffic striping are all constructed or improved with these projects.

Related Statute/City Ordinance:	
Line Item Code/Description:	03-90-801-11 - Street Repair and Maintenance (Special Highway Fund) 25-90-805-09 - Capital Projects (Capital Improvement Fund)
Available Budget:	\$425,000



Relocate Pedestrian
Push Button Pedestal

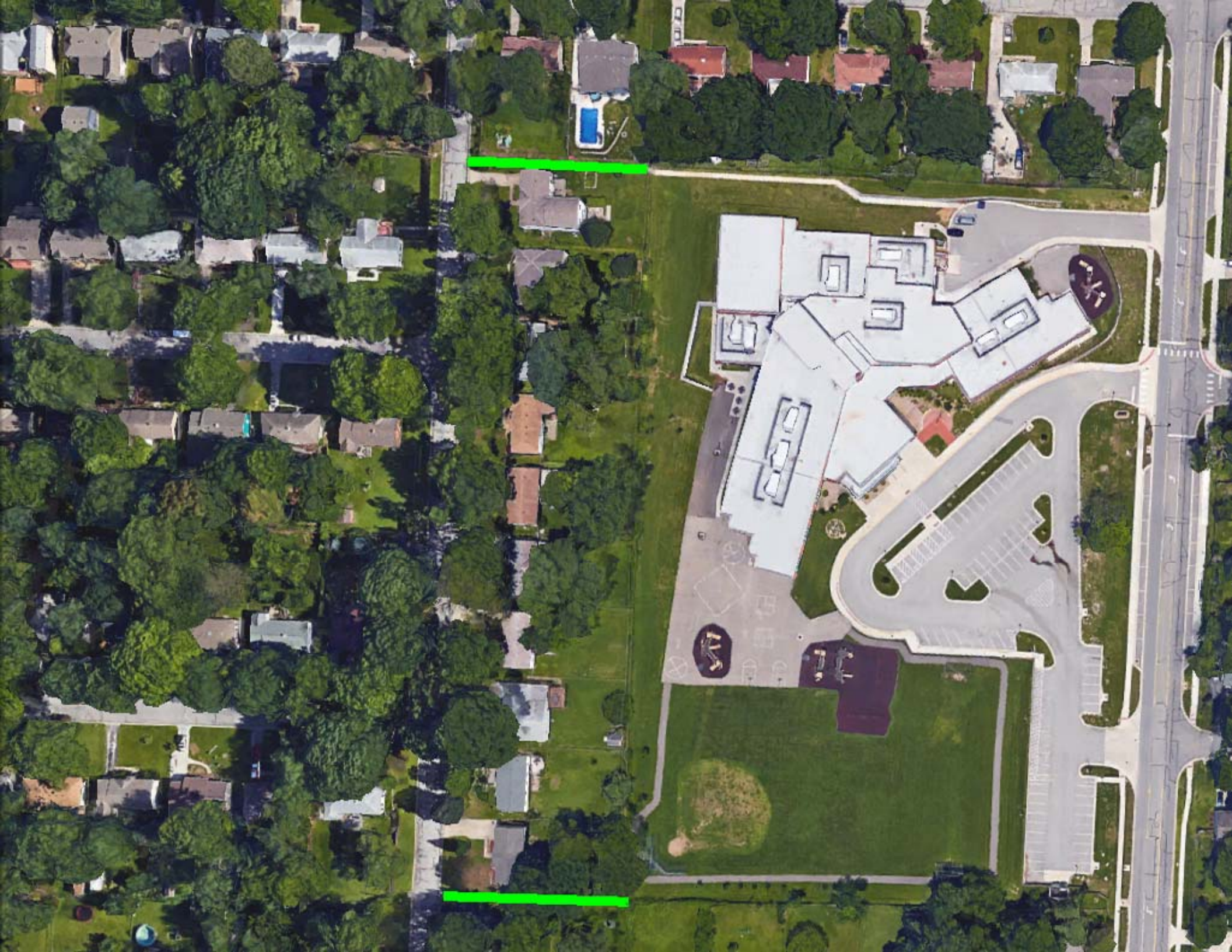
R20'

R150'

WB-62 - Interstate Semi-Trailer

Roe Ave.

60th St.

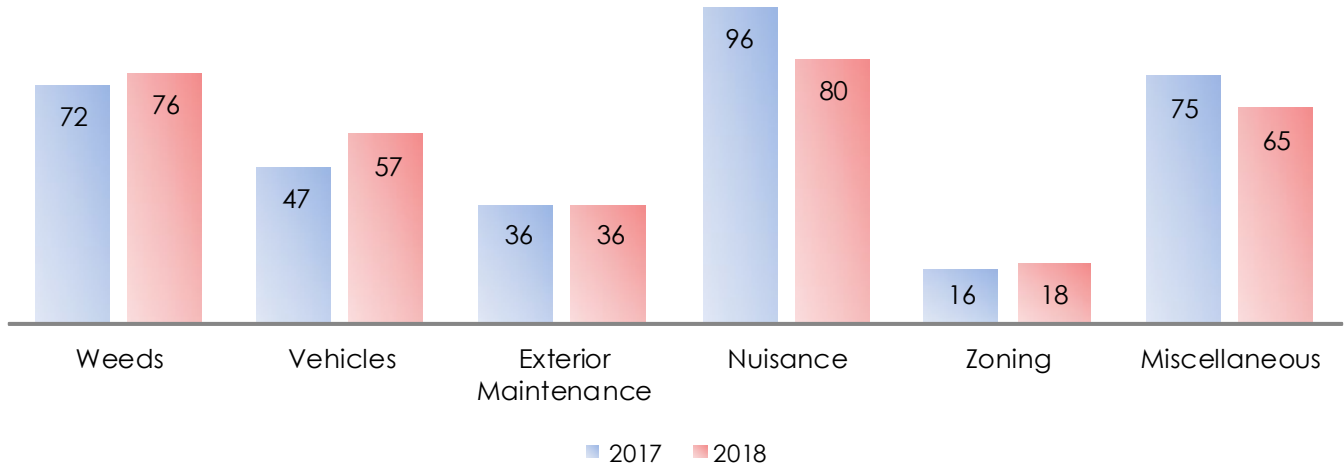


Neighborhood Services Quarterly Report

April 1st - June 30th

2018

Code Enforcement Cases



Code News of Interest

- Performed 12 Rental Inspections
- Mission Possible: 10 applicants approved
- Adopt-A-Street: 1 applicant approved
- Accessory Animal Permit: 2 issued
- Neighborhood Grants: 1 awarded
- Maple Grove Neighborhood Community Cleanup was June 14th
- Habitat for Humanity exterior home project completed
- James completed Leadership Northeast

Violations by Ward — Cases

1: 50	3: 50
2: 55	4: 46

Miscellaneous Information - Second Quarter

<u>2017</u>	<u>2018</u>
Cases: 236	Cases: 201
Cases in Court: 1	Cases in Court: 4
Compliance: 200	Compliance: 188
Abatements: 9	Abatements: 8
Notices Sent: 266	Notices Sent: 243

Insight into Violations — Second Quarter

Residential: 181	Commercial: 20
Complaint: 37	Complaint: 4
Proactive: 144	Proactive: 16

Compliance by Notice — Second Quarter

Courtesy Notice: 69%	Work Order: 2%
Certified Notice: 26%	Citation: 2%
Final Notice: 1%	